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**Application Ref: NP/12/0023**

<b>Application Type</b>	Full
<b>Grid Ref:</b>	SM89463503
<b>Applicant Agent</b>	Mr & Mrs M & R Lamb & Holloway Mr Andrew Vaughan-Harries, Hayston Development & Planning
<b>Proposal</b>	Conversion & alteration of existing mill to live/work unit of accommodation
<b>Site Location</b>	New Mill, Tregwynt, St Nicholas, Haverfordwest, Pembrokeshire, SA62 5UX
<b>Case Officer</b>	Liam Jones

**Summary**

This application proposes the conversion of a group of buildings at New Mill into a new live/work unit. New Mill is just within the National Park located to the north west of the working Tregwynt Woollen Mill near St Nicholas. At present the buildings on site are used for store purposes ancillary to the residence New Mill and have been used as a poultry shed and calf cot previously.

The scheme is considered to result in a sensitive residential conversion and will also provide a studio and office in connection with the applicant's business. Notwithstanding the fact that the residential unit will not provide the level of accessibility as set out in the Authority's SPG Accessibility there are considered to be sufficient material considerations in this instance which, on balance, outweigh the accessibility aspect of Policy 7 and the SPG. The scheme will provide a base for the applicant's visual effects company, allow the applicants to care for dependant relatives and provide an opportunity to save a traditional group of mill buildings at the site. As such the scheme is recommended for permission subject to suitable conditions.

The application is brought to the Development Management Committee as it is considered to be a departure from the Adopted Local Development Plan in view of the scheme not providing the level of accessibility usually expected from residential conversions.

**Consultee Response**

**Pencaer Community Council:** No objection

**Countryside Council for Wales:** Conditional Consent

**Dwr Cymru Welsh Water:** No objection

**Environment Agency Wales:** No objection - subject to informative

**PCC - Transportation & Environment:** Conditional Consent

**Dyfed Archaeological Trust:** No objection - subject to condition

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## **Public Response**

The application was advertised by a site notice displayed at the site access on 2<sup>nd</sup> March 2012. Letters were forwarded to neighbouring properties near the application site. An additional site notice, advertising the application as a departure was displayed on 11<sup>th</sup> July 2012 and advertised in the local press. One letter of support has been received from a neighbouring occupier at 'Step In, Tregwynt'.

## **Policies considered**

Please note that these policies can be viewed on the Policies page Pembrokehire Coast National Park website - <http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

LDP Policy 01 - National Park Purposes and Duty  
LDP Policy 07 - Countryside  
LDP Policy 08 - Special Qualities  
LDP Policy 11 - Protection of Biodiversity  
LDP Policy 14 - Protection of Buildings of Local Importance  
LDP Policy 15 - Conservation of the Pembrokeshire Coast National Park  
LDP Policy 29 - Sustainable Design  
LDP Policy 30 - Amenity  
LDP Policy 31 - Minimising Waste  
LDP Policy 32 - Surface Water Drainage  
LDP Policy 42 - Employment Sites and Live/Work Units  
LDP Policy 44 - Housing  
LDP Policy 45 – Affordable housing  
LDP Policy 53 - Impacts on traffic  
PPW4 Chapter 04 - Planning for Sustainability  
PPW4 Chapter 05 - Conserving and Improving Natural Heritage and the Coast  
PPW4 Chapter 06 - Conserving the Historic Environment  
PPW4 Chapter 07 - Supporting the Economy  
PPW4 Chapter 08 - Transport  
PPW4 Chapter 09 - Housing  
SPG05 - Sustainable Design  
TAN 12 - Design  
TAN 13 - Tourism  
TAN 15 - Development and Flood Risk  
TAN 18 - Transport

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## **Officer's Appraisal**

### **Background**

The application site comprises a group of existing buildings known as 'New Mill' which lie to the south east of the small hamlet of St Nicholas within a wooded and secluded valley. A small stream runs approximately 40m east of the buildings. The buildings are no longer used as a mill and are now used for storage in connection with an existing residential property which can be accessed along a private lane from the minor county road close to the working Tregwynt Woollen Mill. The only history of applications are from 1976 and 1986 with approvals for extensions and alterations to the farmhouse.

### **History**

NP/278/86 – New Mill Farm, Tregwynt, St Nicholas – Extension and alterations – Approved – 29 July 1986

NP/642/76 – New Mill Farm, Tregwynt, St Nicholas – Construction of extension to farmhouse – Approved – 8 December 1976

### **Constraints**

- Technical Advice Note 15
- Biodiversity Issue
- Rights of Way Inland – within 50m
- Potential for surface water flooding

### **Current proposal**

The application proposes conversion and alteration of the existing mill and adjoining buildings at the site into a live/work unit of accommodation. Internal accommodation proposed comprises two ground floor bedrooms, living area and bathroom contained within the main building and a studio, office and small shower room contained within a replacement extension and existing crog building. First floor accommodation comprises a kitchen/dining area with integrated family living area whilst the loft of the crog building proposed to be used as an ancillary bedroom.

Alterations to the external facade of the building will be minimal with the existing openings of the building retained throughout and some new small openings. 2 glazed door accesses are proposed in the north facing elevation of the main building to give access from the ground floor living area and bedroom into the rear of the building. Furthermore a new window opening is proposed in the adjoining crog building.

The blockwork extension to the rear of the main building and crog is proposed to be rebuilt in double skin blockwork and faced in tongue and groove boards with French door rear access and a partly glazed roof. Some works are proposed to the long barn on site to provide for space for an internal bat roost

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and plans have been provided showing a new slate roof for the building and bat access and lockable door.

The scheme shows that finishes will comprise a slate and corrugated roofing, timber windows and doors and repointing of stonework throughout.

The Planning Report submitted states that the applicant's own a successful visual effects company and are involved in production. As a result the scheme proposes the creation of both a studio and office to help provide a remote base for their business where the main means of communication is via the internet. Furthermore the scheme would allow the applicant to live close to their dependant relatives and provide a means of care.

### **Key Issues**

The application raises the following planning matters:-

- Principle of Development
- Material Considerations
- Visual Amenity and the Special Qualities of the National Park;
- Protected Species
- Historic Environment
- Highway Safety and Parking
- Neighbouring Amenity
- Surface Water and Flooding

### **Principle of development**

Section 54A of the Town and Country Planning Act 1990 (as amended) and Section 38(6) of the Town and Compulsory Purchase Act 2004 require all development decisions to be made in accordance with the development plan unless material considerations indicate otherwise.

Paragraph 3.1.2 of Planning Policy Wales ('PPW') states that "Applications for planning permission... should be determined in accordance with the approved or adopted development plan for the area unless material considerations indicate otherwise. Material considerations could include current circumstances, policies in an emerging development plan, and planning policies of the Assembly Government and the UK Government."

The site lies within a countryside location and outside any recognised Centre in the Local Development Plan ('LDP'). New residential uses are generally restricted to Centres although consideration can be given to the conversion of suitable buildings to a range of uses with affordable housing being given priority in residential conversions and accessibility to Centres being an important consideration. Policy 7 of the LDP sets the basis of this and the Supplementary Planning Guidance (SPG) 'Accessibility Assessment' explains how accessibility will be considered through planning application submissions.

In this instance the building is considered to be 'inappropriate' in principle for conversion, being one of traditional form and value. Therefore consideration regarding the proposed use of the building and its accessibility are pertinent.

With regard to affordable housing the applicants have stated that this would not be viable and have submitted a Viability Statement as part of the application. The Adopted SPG on Affordable Housing states that issues of viability may be taken into account. The cost of conversion and restoration of the mill will be between £180,000 and £240,000 and will not be viable as an affordable housing unit or for the applicants to make a contribution towards an affordable housing unit elsewhere. Furthermore due to the proximity of the mill and adjoining buildings to the existing residence and shared use of surrounding space there would be a poor standard of amenity and privacy that would affect the existing house and the conversion unit should it be converted to a separate affordable unit occupied by persons other than the applicants. Notwithstanding the above, the fact that the proposal is for a live/work unit which, in the event of a consent would require occupation of the house to be for the manager of the business, and would negate the need for any affordable housing contribution in any event.

In considering accessibility to Centres the Authority uses the Institute of Highways and Transportation Guidelines which advises a maximum walking distance of 1km to services and facilities. The property is located a considerable distance from any of the Centres identified in the LDP and over a kilometre from the village of St Nicholas, which is outside the National Park. However the site is half a kilometre from the Strumble Bus service which offers transport to Centres within the National Park. The level of service provided is generally inadequate to support a permanent residential use which would require 5 return journeys per day. In this instance the public transport provision does not provide adequate all year round accessibility to services, meaning that the occupiers of the dwelling would be reliant on private motor vehicles.

In view of the above the proposal for conversion of the building to a full residential use does not comply with policy in relation to accessibility as contained within the SPG and as such is considered a departure from the Local Development Plan. Consideration must therefore be given to any material considerations which would justify approval of a departure in this instance having regard to the proposals put before the Authority.

### **Material Considerations**

This application puts forward various material considerations which need to be considered as part of the scheme. Careful consideration needs to be given to the nature of the live/work unit proposed, the personal needs of the applicants in relation to care for their dependant relatives as well as bringing a redundant building back into use.

In this instance the applicants are proposing not only a residential use but an office and studio area to provide a base for their business needs. The

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supporting statements explain that Mrs Holloway is a fine artist and production designer and has exhibited work both locally and in America. As a production manager Mrs Holloway has worked on numerous major videos for international stars and carried out work on commercials. Mr Lamb (husband of Mrs Holloway) owns a successful Visual Effects Company that has worked on a number of notable projects. Both the applicants work within the global media and entertainment industry where one of the main means of communication is via the internet and the creation of an office and studio in the mill will serve as a remote basis for European and American work. The ability to work from home will minimise the need for work related travel and is a relevant consideration in this case.

On a more personal level and whilst not carrying a large degree of weight as a material consideration the scheme would allow the applicant's to provide care for Mrs Holloways elderly parents and brother who is severely autistic as it would provide a unit of accommodation in closer proximity to them.

In addition to the above the buildings included as part of the application relate to a former mill and although not statutorily protected the buildings are nonetheless attractive, of traditional design, well proportioned and make a positive contribution to the character of the local area. Policy 14 of the LDP supports the protection of buildings of local importance stating "development affecting buildings which make an important contribution to the character and interest of the local area will be permitted where the distinctive appearance, architectural integrity or their settings would not be significantly adversely affected". The submitted structural appraisal identifies that the buildings are in good structural condition and the external walls are suitable for retention and conversion. The conversion would prevent any deterioration of the building over time and result in a sympathetic conversion of these locally important buildings.

The nature of the siting of the buildings alongside New Mill and the shared nature of the parking and access are results in the proposals appearing as ancillary to New Mill.

As a result, having considered the detail of the scheme there are considered to be in this instance, on balance, sufficient material considerations to override the need for the residential unit in the countryside to be within 1km of a bus stop or recognised Centre as set out in adopted policy.

#### *Visual Amenity and the Special Qualities of the National Park*

Policy 15 of the Pembrokeshire Coast National Park Local Development Plan (LDP) seeks the conservation of the Pembrokeshire Coast National Park with criteria 'a' and 'b' resisting development that would cause significant visual intrusion and/or, that would be insensitively and unsympathetically sited within the landscape. Policy 30 of the LDP seeks to avoid development that is of an incompatible scale with its surroundings (criterion 'b') or is visually intrusive (criterion 'd').

As explained in the above paragraphs the principle of conversion is considered to be acceptable and the building suitable for such conversion. There is a need, however, to consider the works to the building itself and whether these are appropriate in the context of the site. The plans show that the key openings to the building will remain and there is little change in regard to the overall appearance of the building. A new single storey extension is proposed on the side/rear elevation of the building although replaces an unsightly existing block built structure.

With regard to finishes the building is proposed to keep its stone external finish with repointing of the stonework and rebuilding the poultry shed in blockwork and timber cladding. The roof is to be finished in natural slate and a mixture of glazing and corrugated sheeting, windows and doors are to be timber framed. With respect of precise detailing should permission be granted a suitable condition could be imposed requiring the submission of samples.

The scheme also proposes some works to an existing barn along the south boundary of the application site. It is proposed to retain this building for storage although internal subdivide part of it to provide for a bat roost. Works to the external appearance are minimal involving the provision of a new slate roof and small opening in lieu of an existing opening to provide a bat entrance to the building.

The scheme as submitted is sensitive and will have no adverse impact upon the qualities of the buildings and the special qualities of the surrounding National Park. As such it complies with the aims of policies 15 and 30 of the LDP.

### *Protected Species*

A protected species survey submitted with the application, carried out in December 2010, identified the presence of bats within two of the buildings as well as nesting birds in one building. The survey suggested additional surveys be carried out to fully assess the usage of the buildings by bats. In its initial response to the planning application CCW explained that there was insufficient information submitted to be able to determine whether there would be a detriment to the maintenance of the favourable conservation on bats, a European Protected Species and objected to the scheme pending the provision of further survey work.

A revised survey was submitted in May 2012 identifying additional surveys of the building carried out including a daytime scoping survey, an evening emergence survey and dawn re-entry survey which followed on from a daytime and evening survey undertaken in May 2010. CCW carried out a site inspection in July 2012 with recommendations forthcoming regarding the mitigation to be provided. It advised that the site was unlikely to be a maternity roost although the mill building and calf cot was likely to be used as a day and night roost by brown long eared bats.

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In line with CCW's recommendations an addendum to the May 2012 survey was carried out in August 2012 and submitted in September 2012 with plans for modifications to a barn on site to provide a bat house submitted. The plans detailed the measures suggested by CCW including the provision of a dedicated bat roost within the existing long barn at the site. It recommended that this should be walled off from the remaining barn area and the roof fitted with a more suitable material such as slate. A smaller bat entrance point is proposed to be provided as well as a lockable door to provide inspection access.

CCW has now provided an amended consultation response on 9 October 2012 with no objection subject to the appropriately worded planning conditions requiring the implementation of the bat mitigation measures set out in the report and drawing submitted as well as submission, agreement and implementation of a method statement detailing how and when the works will take place as well as post-development monitoring. Furthermore a European Protected Species Licence will need to be obtained from the Welsh Government prior to the development commencing.

#### *Historic Environment*

Consultation with Dyfed Archaeological Trust reveals that the site is recorded as a post medieval mill. It notes from the application that several of the original features of the mill still remain in situ including elements such as grinding wheels, mill stones, trap doors, cogs and pulleys and recommend these are retained as part of the development. In order to protect potential archaeological interests they Dyfed Archaeological Trust recommend a condition to require a written scheme of investigation be submitted and approved by the Authority before any development takes place. In view of the history of the site and in order to protect any archaeology a condition could be imposed should planning permission be forthcoming in line with Section 23 of Welsh Office Circular 60/96 'Planning and the Historic Environment: Archaeology'.

#### *Highway Safety and Parking*

The site offers existing parking and turning facilities which serve New Mill and there are no changes proposed to this existing layout. The Highway Authority has no objection subject to the existing parking and turning areas being retained for no purpose other than parking

#### *Neighbouring Amenity*

Apart from the owners of New Mill (the applicant's parents) there are no neighbouring occupiers to the site that would be affected as part of these proposals. The proposed dwelling is integrated with New Mill and parking is to be shared along the front.



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### *Surface water and flooding*

The site is shown to lie partly within Zone C2 as defined by the development advice map (DAM) referred to under Technical Advice Note 15 (July 2004). The application was accompanied by a comprehensive Flood Consequences Assessment which concludes that the existing buildings, subject of this application, are unlikely to be at risk from flooding during either the 1 in 100 or 1 in 1000 year event as the finished floor levels will be 1m above the maximum flood levels predicted. However certain recommendations are suggested as a precautionary approach.

The Environment Agency Wales has undertaken a site visit and in its consultation response is of the opinion that the DAM is inaccurate at this location. They are satisfied that the site is outside of what would be deemed the floodplain and has no objection to the application submitted. However precautionary guidance is offered which can be attached as an informative to a decision.

### **Conclusion**

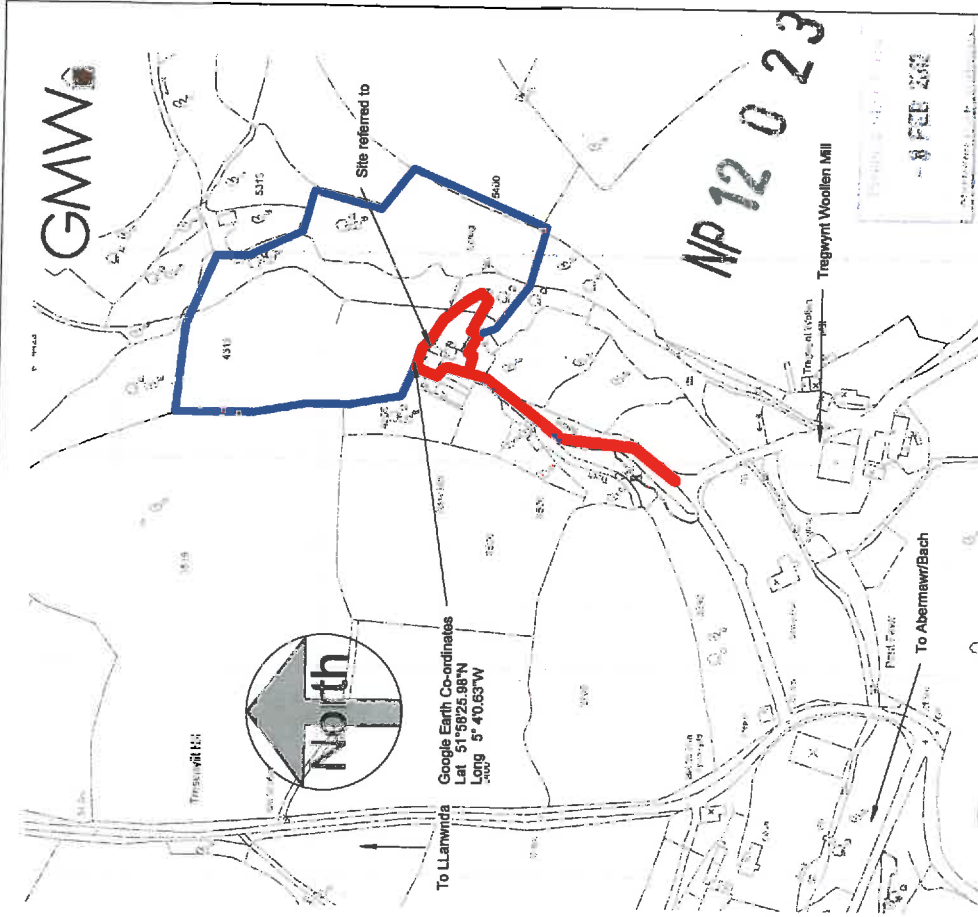
In conclusion, the application is considered to result in a sensitive scheme that will provide an opportunity to retain and improve an existing group of traditional buildings at the site. Whilst new, unfettered residential units in countryside locations are generally resisted through policy this scheme equates to an acceptable scheme of conversion. The proposed use as a live/work unit will help support the applicant's business needs and this coupled with the benefits of the conversion to retain the buildings and improve visual amenity are considered to be sufficient, on balance, to outweigh the accessibility criteria provided for within the Authority's SPG on Accessibility.

Subject to suitable conditions linking the work and live elements of the property and other suitable conditions to protect the surrounding visual amenities, historic environment and protected species the scheme is considered to be acceptable and in line with the aims of policies 1, 7, 8 11, 14, 15, 29, 30, 31, 32, 42 and 53 of the Pembrokeshire Coast National Park Local Development Plan (Adopted September 2010).

### **Recommendation**

The application be approved subject to conditions covering the following:

- Standard time limit
- Deposited plans
- Linking occupation of work and living elements of property to occupiers of New Mill
- Completion of studio and office prior to first occupation
- Materials (sample submissions)
- Bat Mitigation Conditions in line with CCW advice
- Archaeology: written scheme of investigation
- Parking



<b>Existing Site / Location Plan</b>	
Client:	Rachel Holloway & Matthew Lamb
Project:	Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX
Scale:	As Shown
Date:	Oct 2011

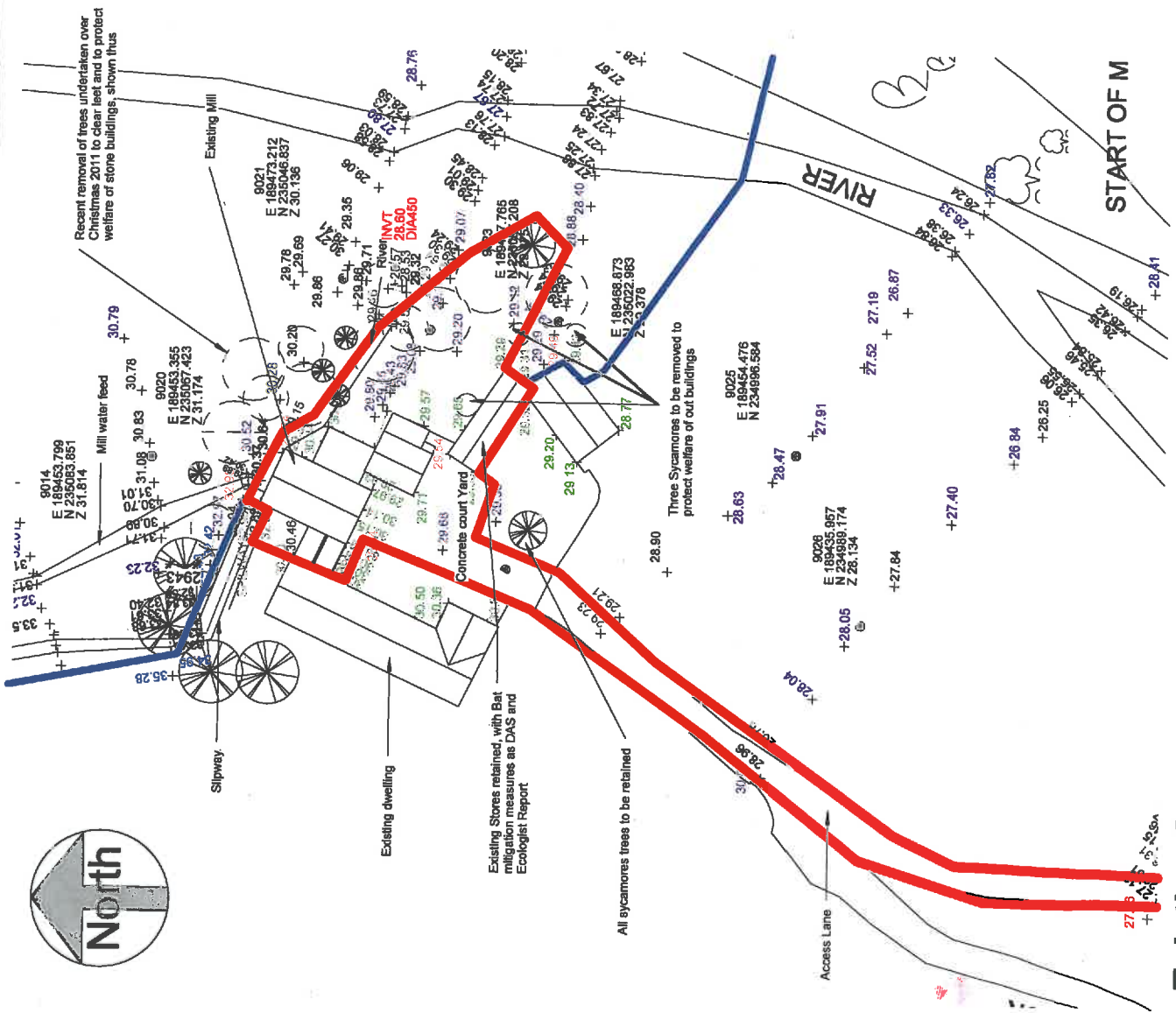
  

<b>Hayston Developments &amp; Planning Ltd</b>	<b>GMWA</b>
17 Corn Hayston Bridge Haverfordwest, Pembrokeshire SA63 9W 01437 891 911 hayston@haystonplanning.co.uk	GMWA Design 87, Docks Road Haverfordwest, Pembrokeshire SA62 5W 01437 891 911 www.gmwadesign.co.uk
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# Location Plan

1 : 2500

Revised Feb 2012



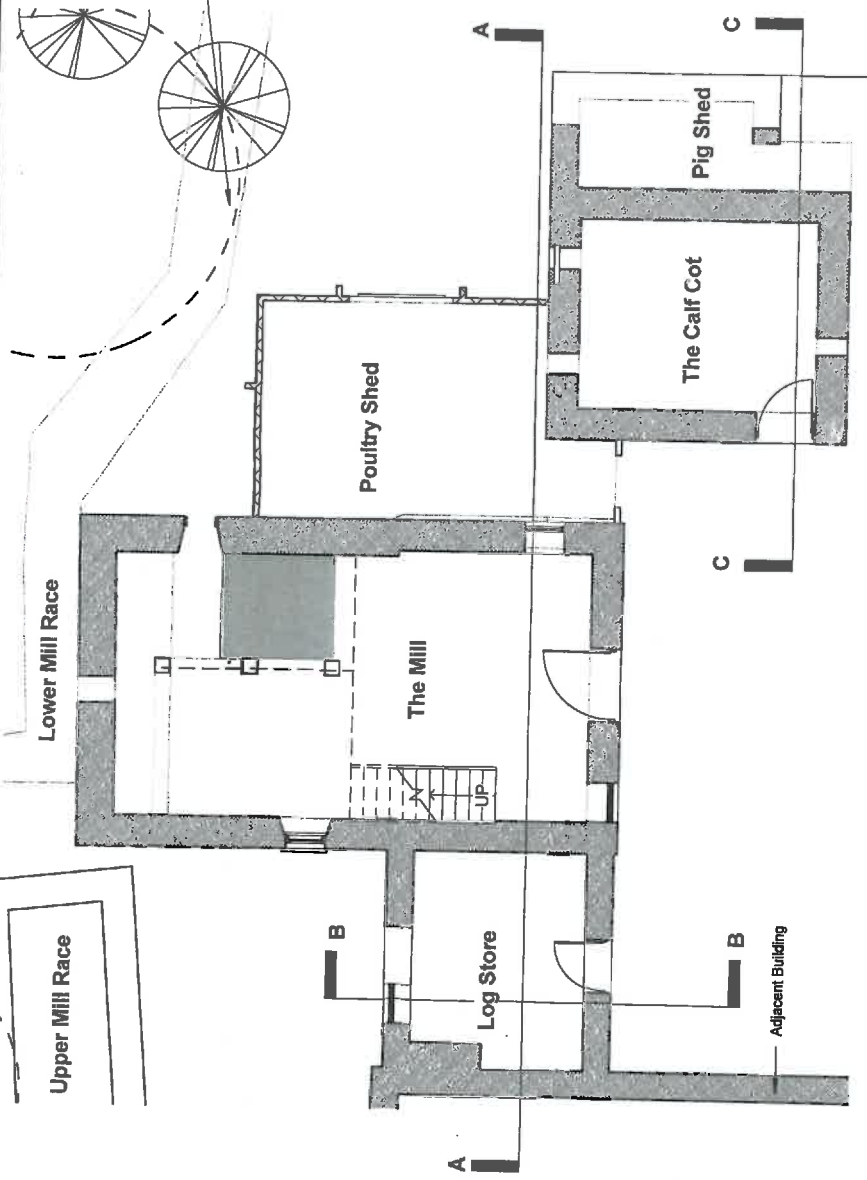
# Existing Site Plan

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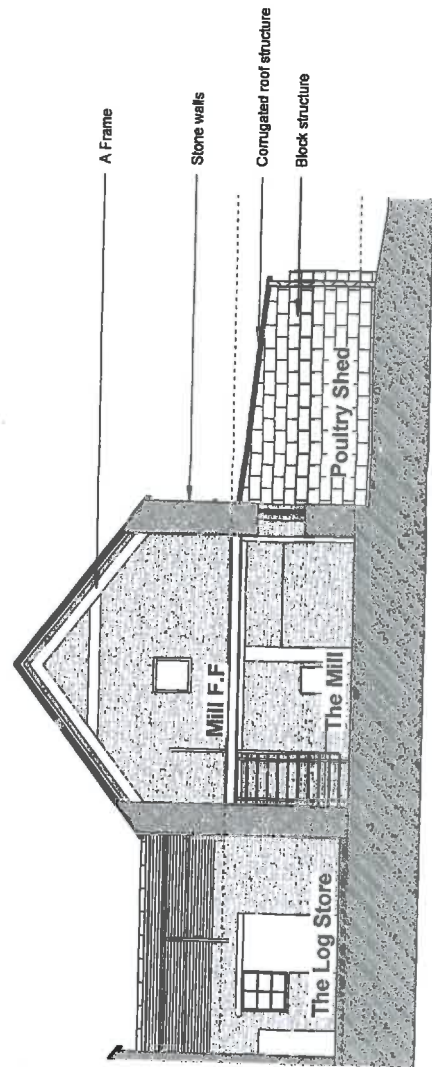


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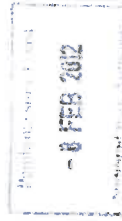
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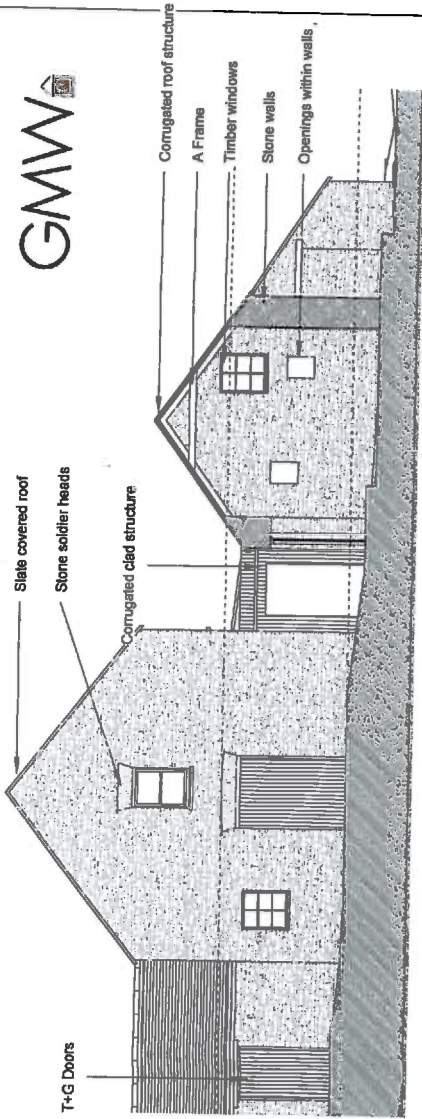
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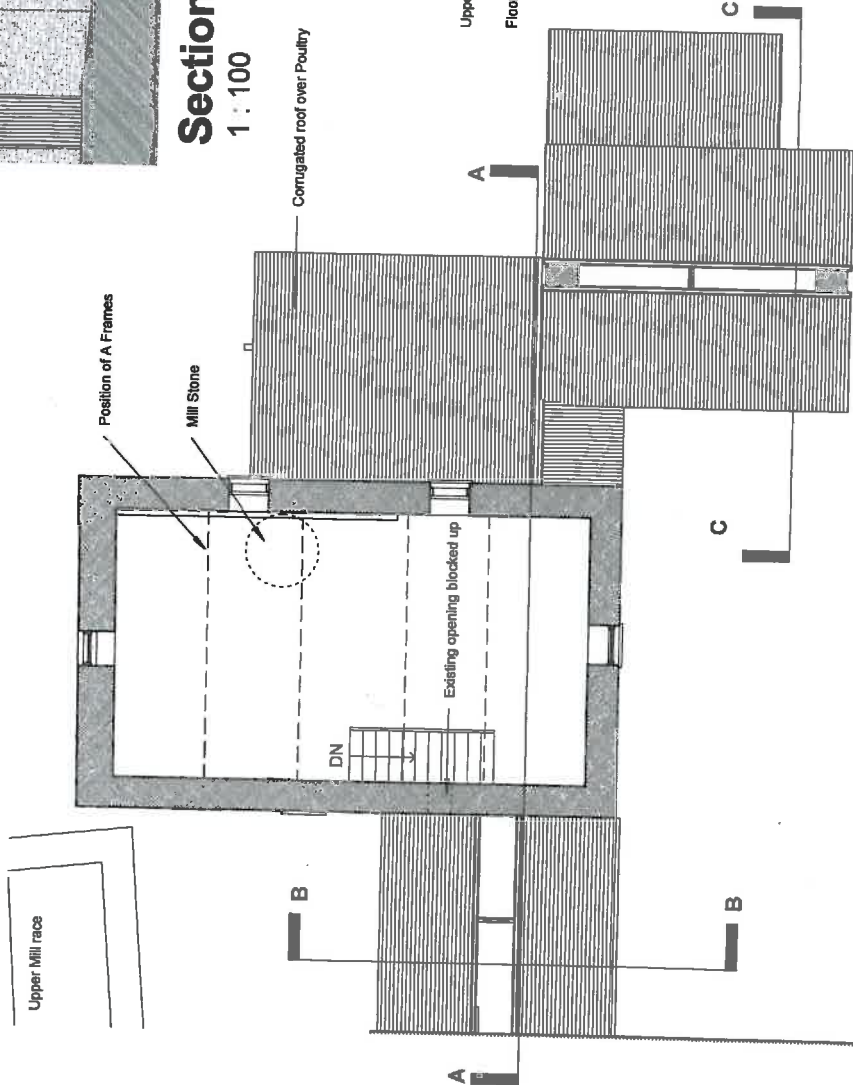
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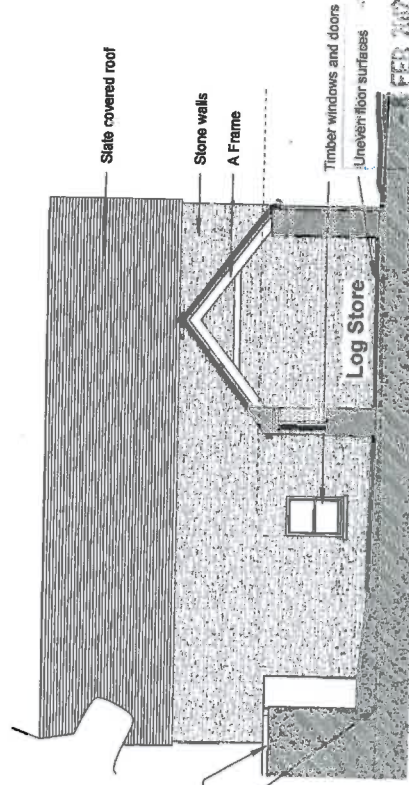
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Client: Rachel Holloway & Matthew Lamb	
Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX	
<p>Hayston Developments &amp; Planning Ltd                  17-19, Haverfordwest, Pembrokeshire, SA62 5UX                  01437 891 704                  01437 891 817                  info@haystonplanning.co.uk</p>	<p>GMW                  1872, Church Road, Haverfordwest, Pembrokeshire, SA62 5UX                  01348 841300                  01348 841311                  www.gmwdesign.co.uk                  Date Assessed For Sustainable Homes: 10/08/2011                  10/08/2011                  0998/002</p>
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Checked by: [Name]	Date: Oct 2011



**Section C-C**  
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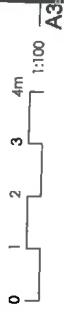
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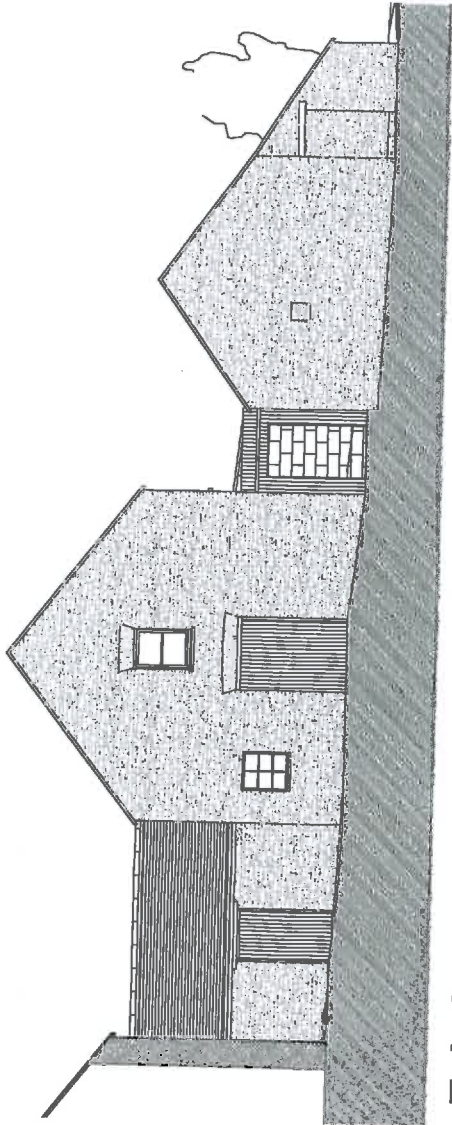


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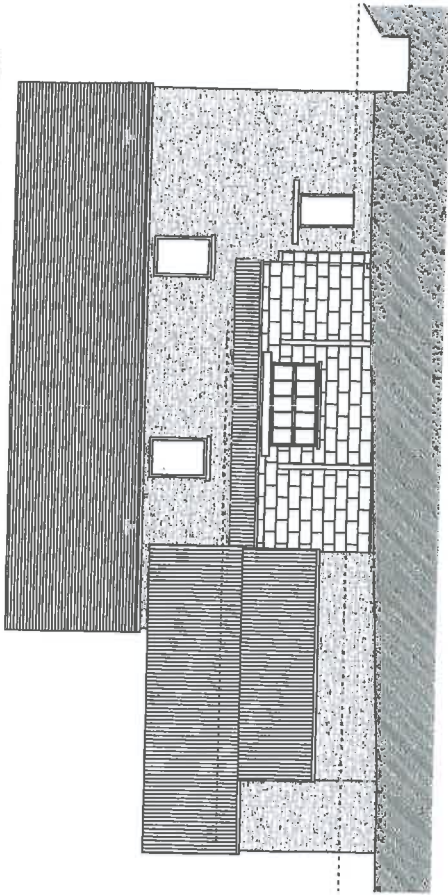
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Rev	Description	Date
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Client: Rachel Holloway & Matthew Lamb		
Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX		
1 Corn, Myrddin Bridge, Johnsons, Haverfordwest, Pembrokeshire, SA62 5YH 01437 891 817 project@h-ston.com www.hayston.co.uk		
01248 841200 129 Haverfordwest, Pembrokeshire, SA62 5UX www.gmwdesign.co.uk		
Code of conduct for Sustainable Homes: Approved		
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Oct 2011		

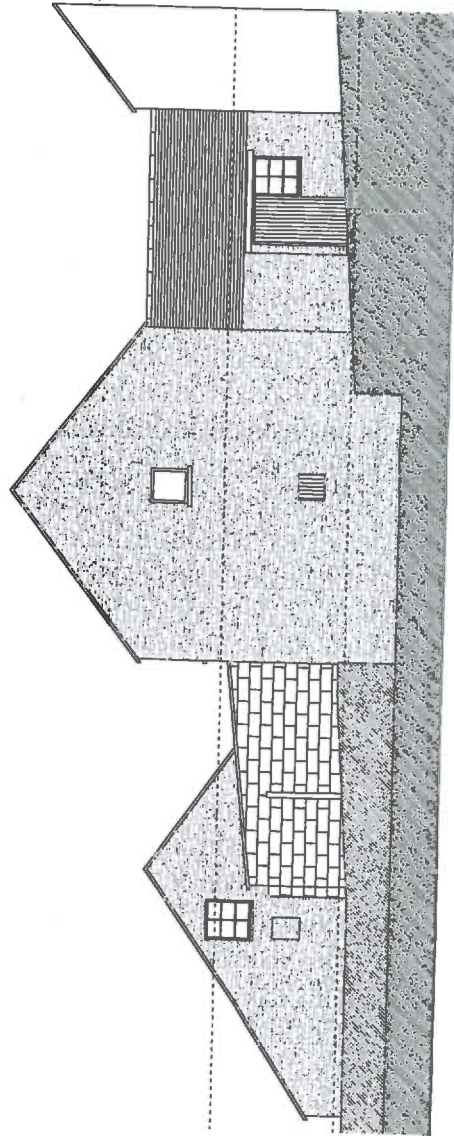




**Existing Front (S) Elevations**  
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**Existing Side (E) Elevation**  
1 : 100



**Existing Rear (N) Elevation**  
1 : 100

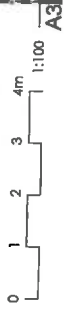
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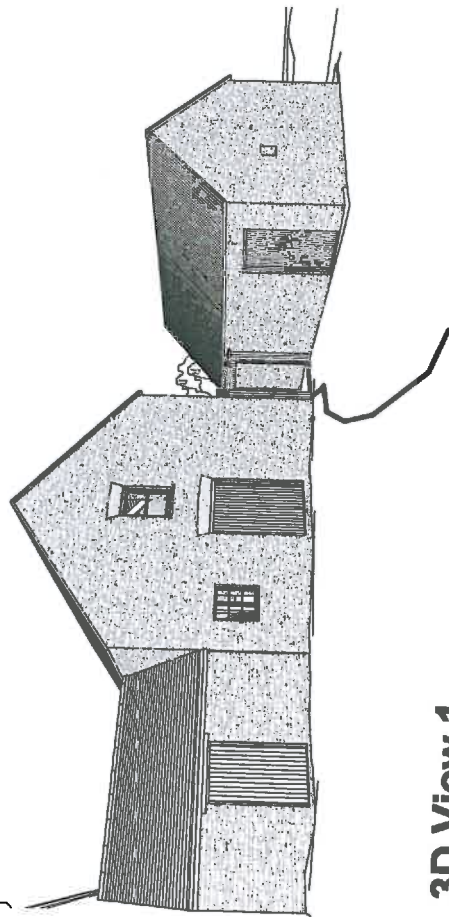
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2	Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5LX	

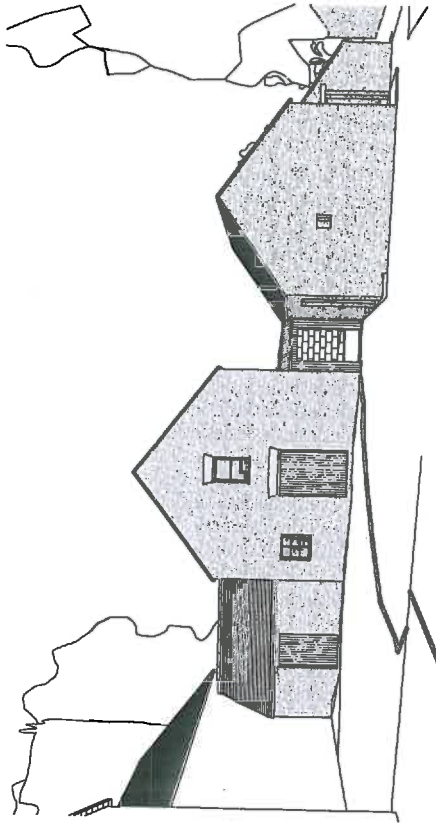
Y Com, Huaston Bridge, Adenwara, Haverfordwest, Pembrokeshire, SA62 3WJ 01338 891 704 pmp@pembrokeshire.ac.uk		25021 Drive, 187 St David's Road, Haverfordwest, Pembrokeshire, SA62 5LX 01346 641300 0798 3 27 115 www.gmwdesign.co.uk	
Date Accepted for Submission: Home Office Number: 0998/004		Date: 08 FEB 2012 National Planning Policy Framework	



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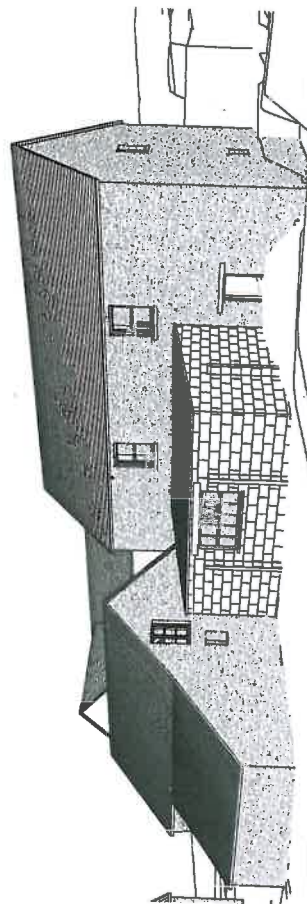


3D View 1

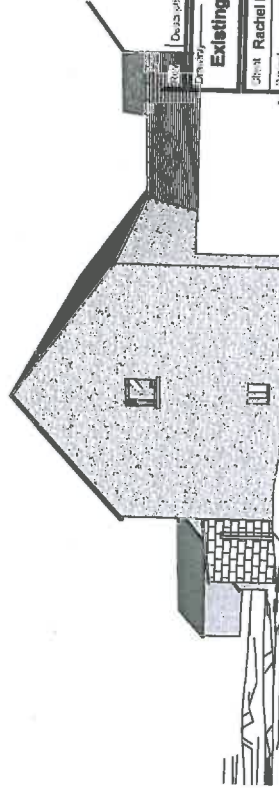


3D View 2

NP 12 0 23



3D View 3



3D View 4

09 FEB 2012

Existing Perspective Views

Site: Rachel Holloway & Matthew Lamb

Proposed Conversion of Mill to Live / Work Unit at New Mill, Treogynt, Haverfrowat, Hampshire, SA62 5UX

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 Drawing Number: 0998/005  
 Revision: 1  
 Scale: NTS  
 Date: Oct 2011



Google Earth Co-ordinates  
 Lat. 51°58'25.98"N  
 Long. 5°40'53"W

Site referred to  
 To Llanwnda  
 To Abermaur/Bach

NP 12 0 23

- 8 FEB 2012

Proposed Site / Location Plan

Client: Rachel Holloway & Matthew Lamb  
 Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX

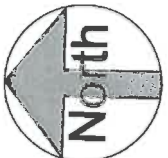
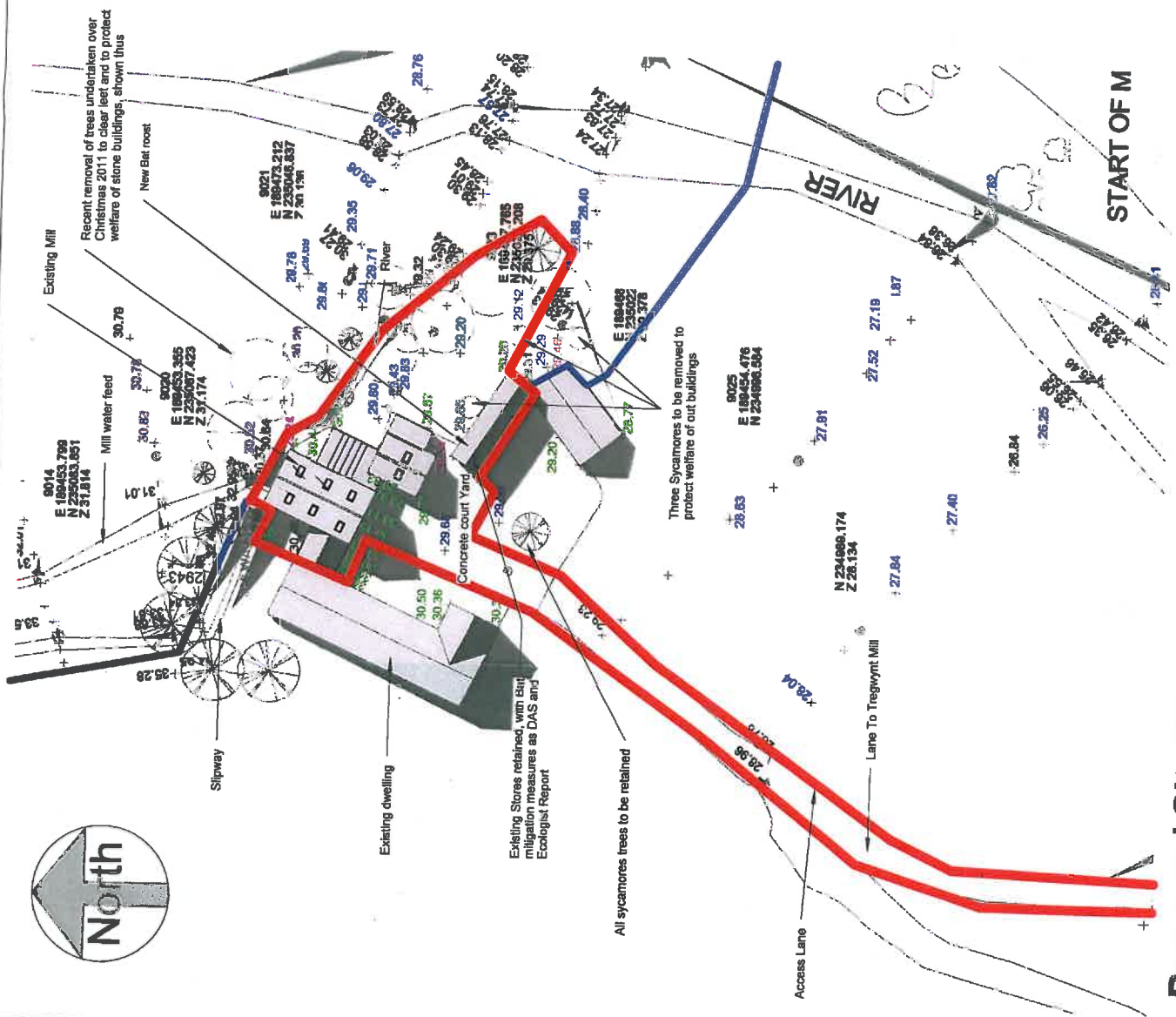
**Hayston Developments & Planning Ltd**  
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 Johnson, Haverfordwest  
 Pembrokeshire SA62 3HU  
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 hayston@gmwdesign.co.uk

0998/006  
 A  
 AA Shown  
 Oct 2011

# Location Plan

1 : 2500





Redundant upper Mill Race

Discreet Drying Area

Ground levels to be reduced to be minimum of 150mm below finished floor level

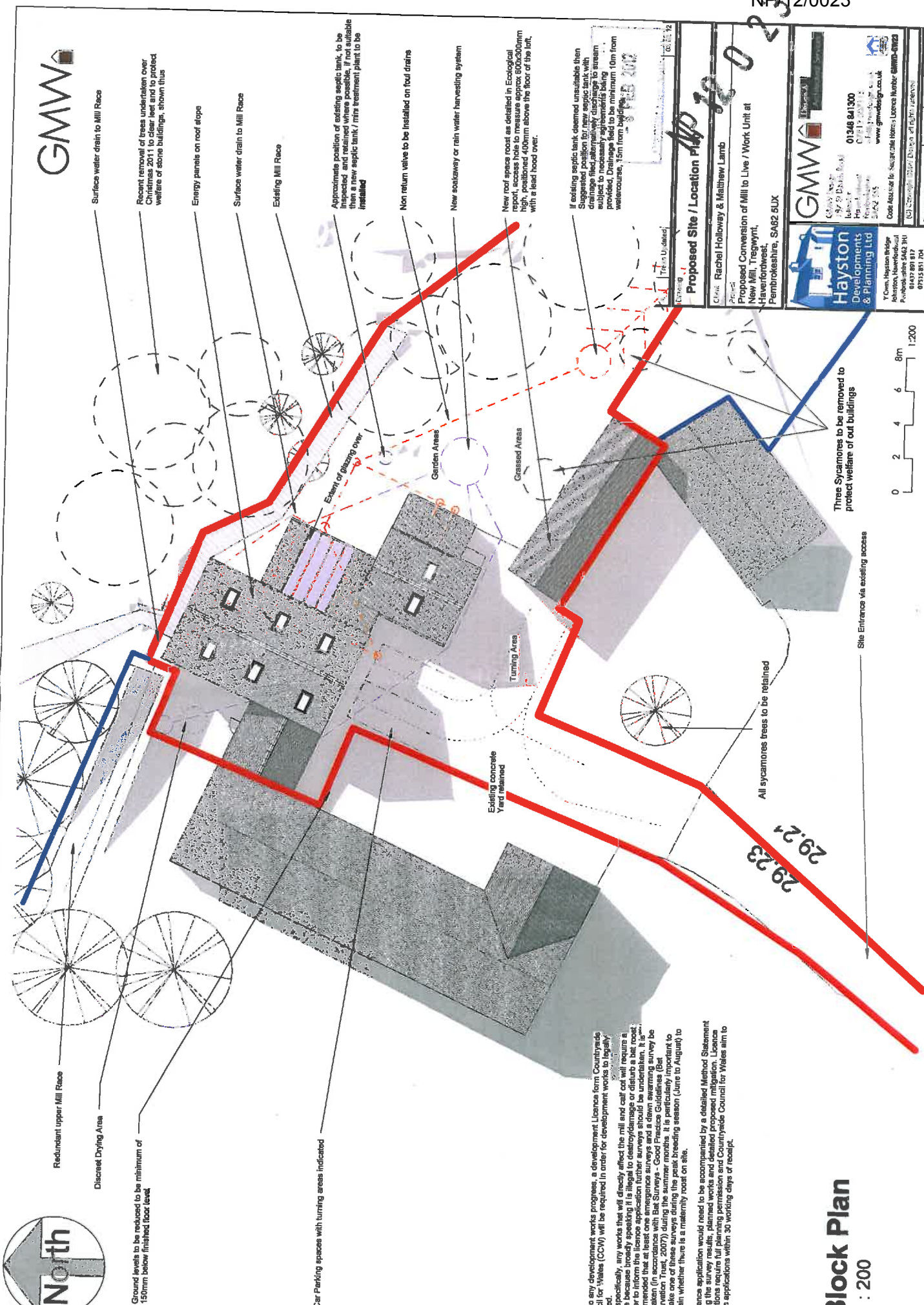
Car Parking spaces with turning areas indicated

Existing concrete Yard retained

All sycamore trees to be retained

Three Sycamores to be removed to protect welfare of out buildings

Site Entrance via existing access



Approximate position of existing septic tank, to be inspected and retained where possible. If not suitable then a new septic tank / mtn treatment plant to be installed

Non return valve to be installed on foul drains

New sowlaway or rain water harvesting system

New roof space roost as detailed in Ecological report, access hole to measure approx 600x300mm with a lead hood over.

If existing septic tank deemed unsuitable then suggested position for new septic tank with drainage filled alternatively discharge to stream subject to necessary agreements being provided. Drainage field to be minimum 10m from watercourse, 1.5m from buildings.

**Proposed Site / Location Plan**  
 Client: Rachel Holloway & Matthew Lamb  
 Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwyrnt, Haverfordwest, Pembrokeshire, SA62 5UX

<b>Hayston Developments &amp; Planning Ltd</b>	<b>GMW</b>
1 Com. Hayston Bridge Hilton, Haverfordwest Pembrokeshire, SA62 5JU 01315 851 704 prop@h-d.com planning@h-d.com	01346 841300 01315 851704 www.gmwdesign.co.uk Code of Practice for Surveyors License Number 0100-01023
Drawing Number: <b>0998/007</b>	
Drawing Title: <b>A</b>	
Drawing Date: <b>1:200</b>	
Drawing Date: <b>Oct 2011</b>	

Prior to any development works progress, a development Licence from Countryside Council for Wales (CCW) will be required in order for development work to legally proceed.

More specifically, any works that will directly affect the mill and cat cot will require a licence from CCW. In order to avoid any potential issues with CCW, it is recommended that all licence application further surveys should be undertaken. It is recommended that all licence application further surveys should be undertaken. It is recommended that all licence application further surveys should be undertaken. It is recommended that all licence application further surveys should be undertaken.

Any licence application would need to be accompanied by a detailed Method Statement outlining the works to be undertaken, planned works and detailed proposed mitigation. Licence applications require planning permission and Countryside Council for Wales aim to process applications within 30 working days or receipt.

# Block Plan

1 : 200





**Finishing Schedule**  
 Ridge - Terracotta / blue grey purple interlocking/ butt ridge tiles  
 Roof Covering - Natural Slate or Composite or cement washed, zinc to low pitched roofs  
 Fascias/Bargeboards - decorated timber  
 Rainwater goods - Black Aluminium/cast iron  
 Walls - Smooth rendered and decorated / Facing Brick  
 Windows/Doors - Decorated/Stained Handwood/softwood  
 Window Heads - Stone/slate heads  
 Cills - Slate

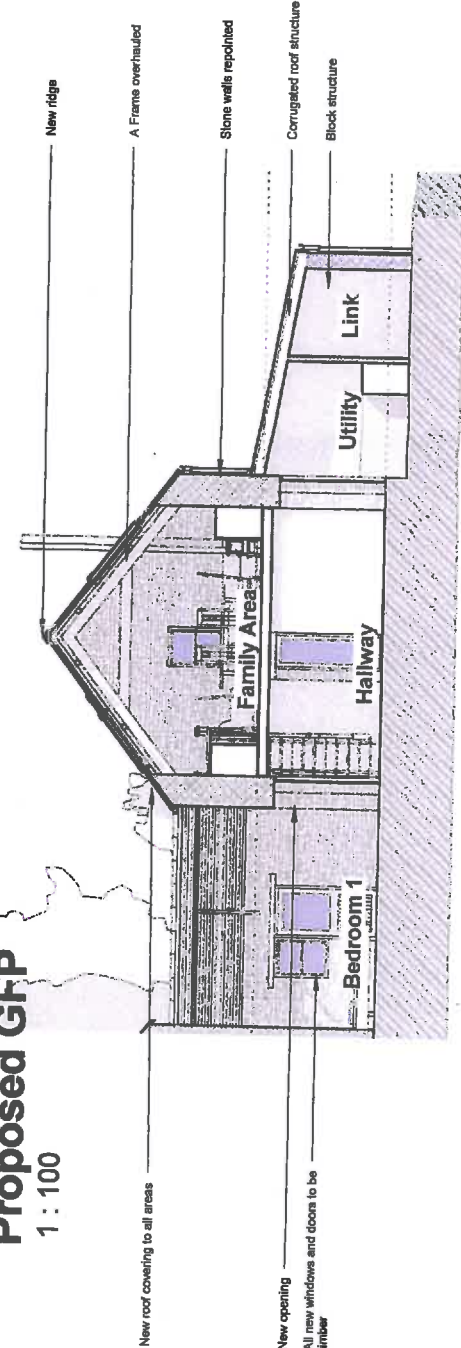
NP 12 0 23

12 FEB 2012

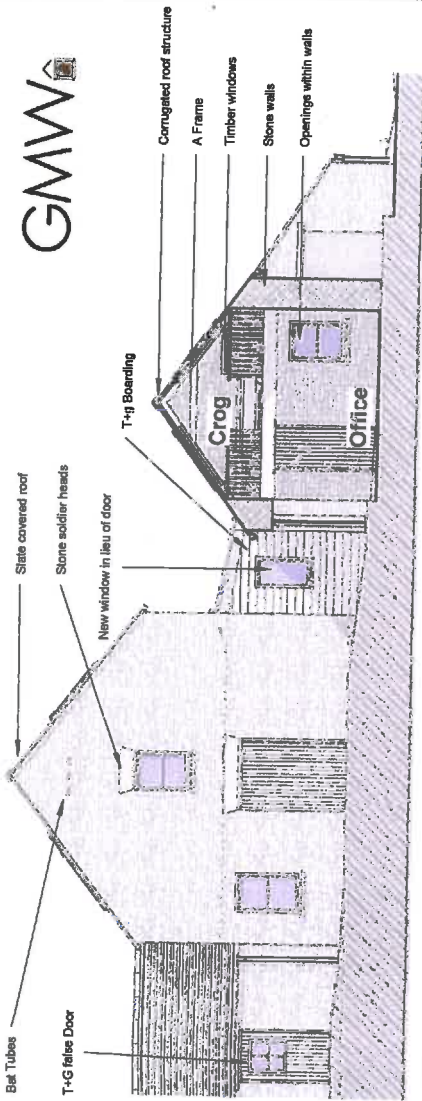
Drawing Number		Revision		Date	
0998/008		A		As Shown	
Drawing Author		Checked		Date	
Rachel Holloway & Matthew Lamb					
<p><b>Proposed GFP + Section</b></p> <p>Client: Rachel Holloway &amp; Matthew Lamb</p> <p>Project:                  Proposed Conversion of Mill to Live / Work Unit at                  New Mill, Tregrwynt,                  Haerfordwest,                  Pembrokeshire, SA82 5UX</p>					
<p><b>Hayston</b>                  Developments                  &amp; Planning Ltd</p> <p>17 Cymru, Hayston Bridge,                  Hayston, Haerfordwest,                  Pembrokeshire, SA82 5UX                  01348 841300                  07913 077145                  www.gmwdesign.co.uk</p>		<p><b>GMW</b>                  Design                  197 S. Beach Road,                  Hayston, Haerfordwest,                  Pembrokeshire, SA82 5UX                  01348 841300                  07913 077145                  www.gmwdesign.co.uk</p> <p>Code of Practice for Sustainable Homes (see: <a href="http://www.sustainablehomes.gov.uk">www.sustainablehomes.gov.uk</a>)                  (C) Copyright GMW Design, all rights reserved</p>			



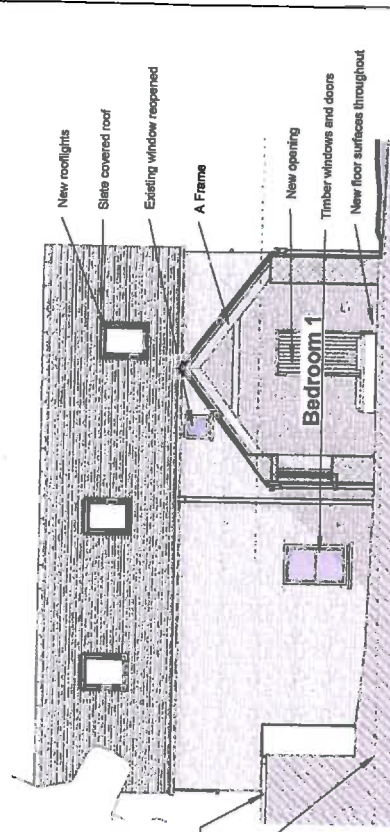
**Proposed GFP**  
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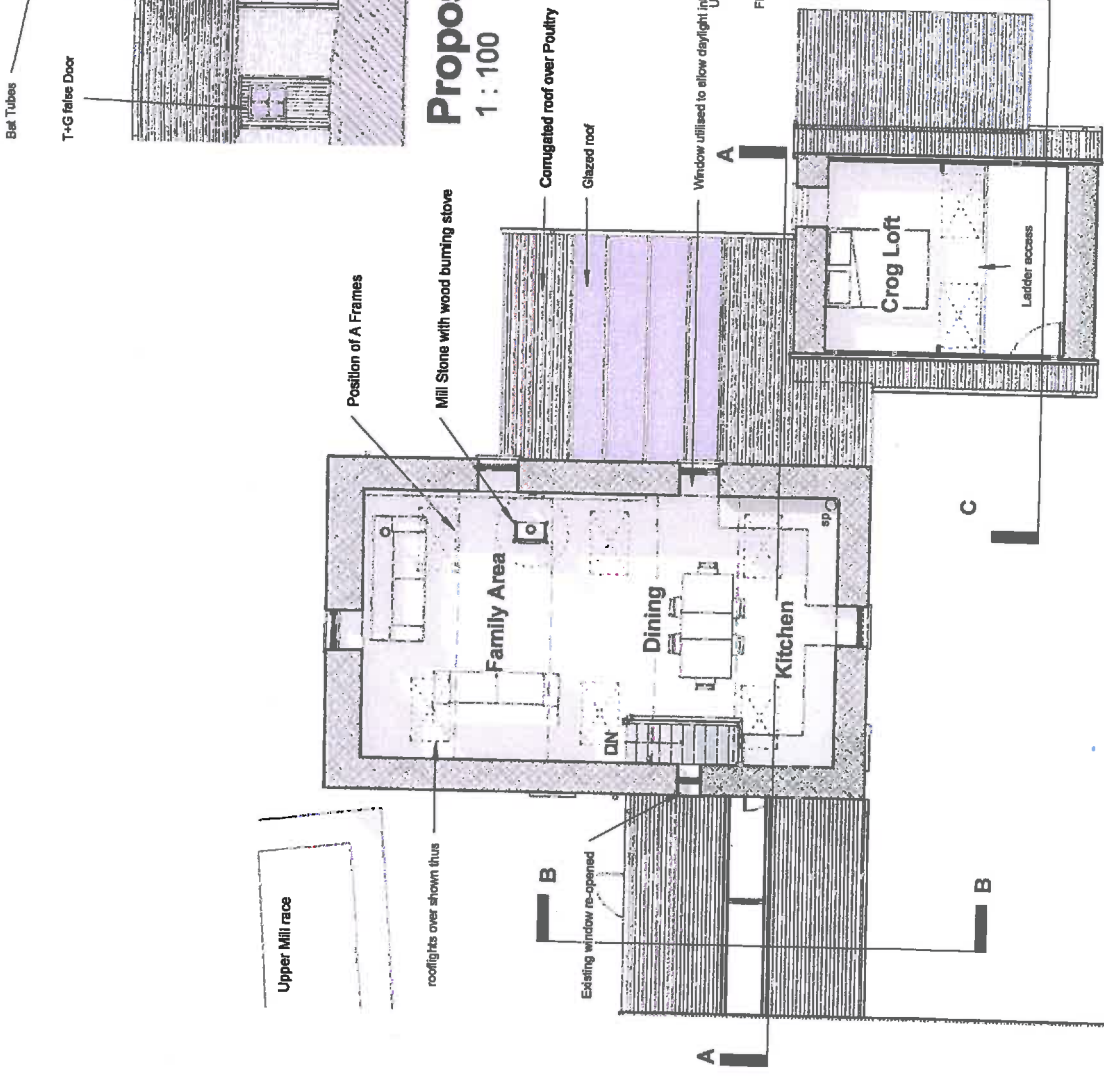
**Proposed Section A-A**  
1 : 100



**Proposed Section C-C**  
1 : 100



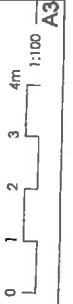
**Proposed Section B-B**  
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**Proposed First Floor Plan**  
1 : 100

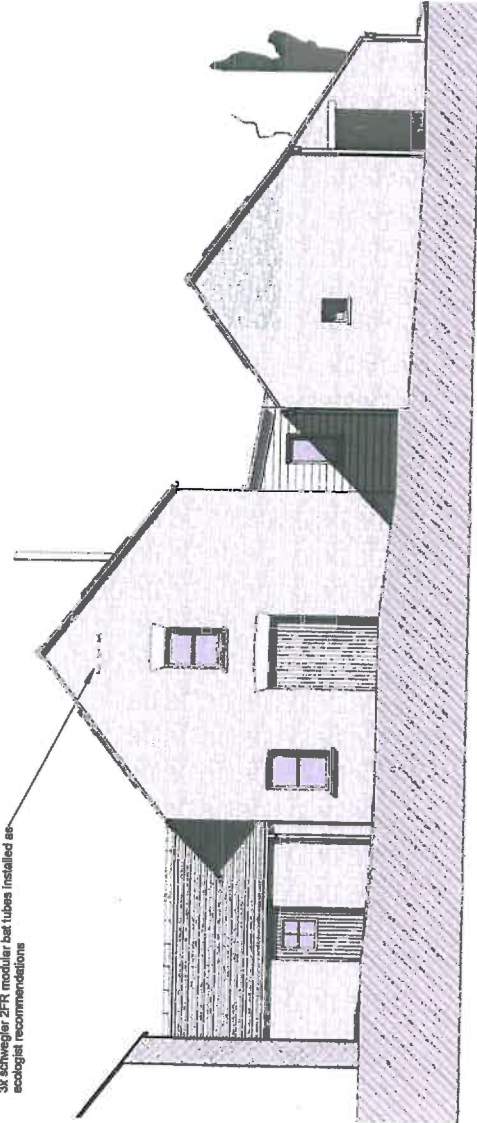
NP 12 0 23

Client: Rachel Holloway & Matthew Lamb	Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX
Drawn: [ ]	Checked: [ ]
Issue: [ ]	Date: 08 FEB 2012
<b>Proposed FFP + Sections</b>	
01346 841300 01346 841300 www.gmwadesign.co.uk www.haystonplanning.co.uk 100, Haverfordwest, Pembrokeshire, SA62 5UX 01346 841300 01346 841300 01346 841300	
Drawing Number: 0998/009	As Shown: Oct 2011



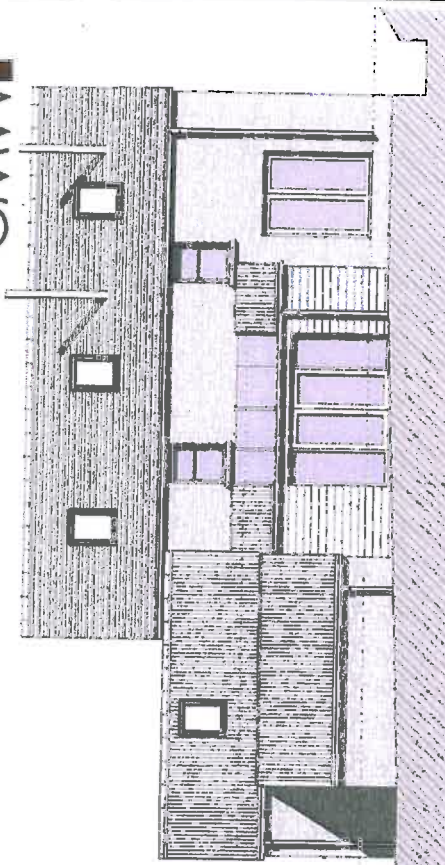


3x schwedler 2FR modular bat tubes installed as ecologist recommendations



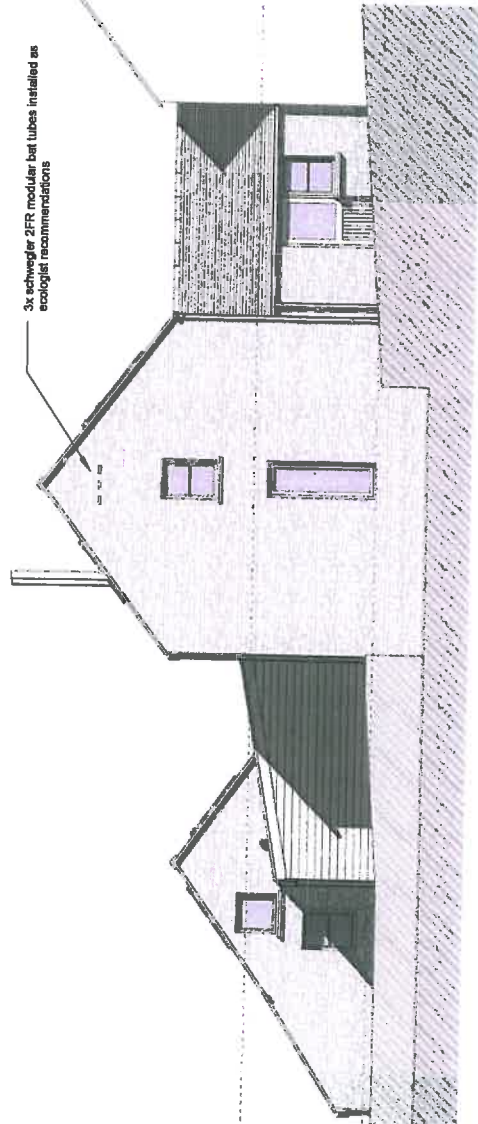
**Proposed Front (S) Elevations**

1 : 100



**Proposed Side (E) Elevation**

1 : 100



**Proposed Rear (N) Elevation**

1 : 100

**Finishing Schedule**  
 Ridge - Terracotta / blue grey/ purple interlocking/ butt ridge tiles  
 Roof Covering - Natural Slate or Composite or cement washed, zinc to low pitched roofs  
 Fascias/Garageboards - decorated timber  
 Rainwater goods - Black Aluminium/ cast iron  
 Walls - Smooth rendered and decorated / Facing Brick  
 Windows/Doors - Decorated/Stained Hardwood/software  
 Window Heads - Stone/slate heads  
 Chills - Slate

3x schwedler 2FR modular bat tubes installed as ecologist recommendations

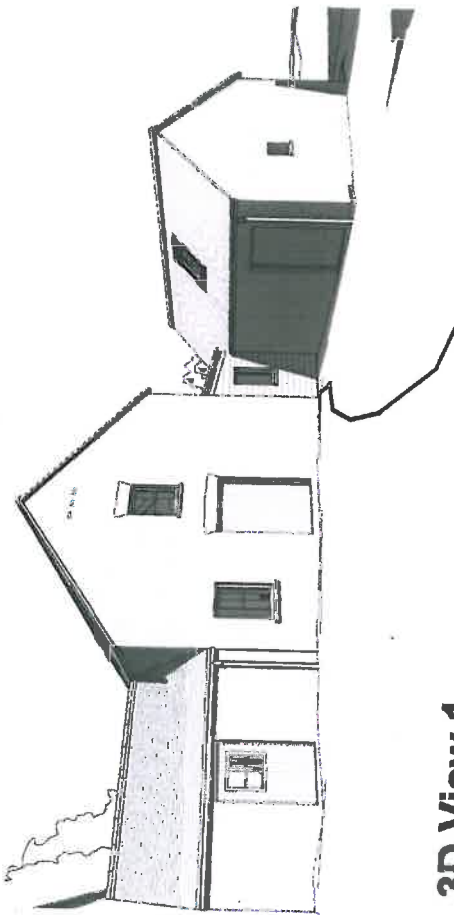
NP 12 0 23

6 FEB 2012

Rev	Description	Drawn
1	Proposed Elevations	
Client: Rachel Holloway & Matthew Lamb Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX		
10 Cross Hayston Ridge, Haverfordwest, Pembrokeshire SA62 3HJ 01437 891 817 hayston@haystonplanning.co.uk www.haystonplanning.co.uk		
01348 841300 29-31 St David's Way, Haverfordwest, Pembrokeshire, SA62 5AA www.gmwplanning.co.uk Code Address to Sustainable Homes Licence Number: GMW-01222 (All Copyright GMW Developments all rights reserved)		
Drawing Number	Revision	Date
0998/010		As Shown
		Oct 2011



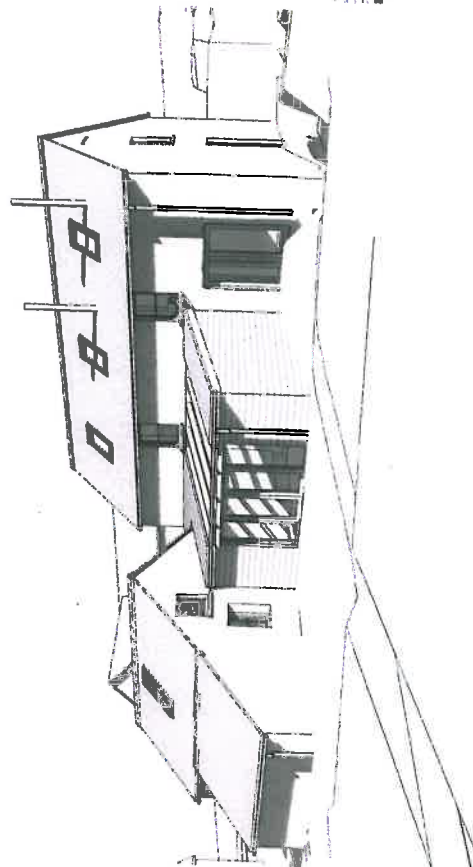
A3



3D View 1





3D View 2



3D View 3

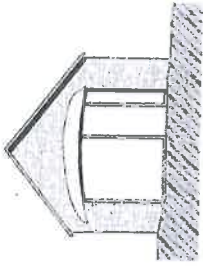
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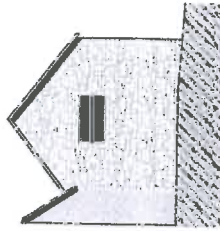
Drawn	Location	Date
<b>Proposed Perspective Views</b>		
Drawn: Rachel Holloway & Matthew Lamb		
Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynn, Haverfordwest, Pembrokeshire. SA62 5UX		
 		
Hayston Developments & Planning Ltd 1 Cross, Newton Bridge, Haverfordwest, Pembrokeshire SA62 3WJ 01537 891 817 hayston@haystonplanning.co.uk		
GMW 01348 841300 29, Tregynon, Haverfordwest, Pembrokeshire SA62 5UX www.gmwdesign.co.uk Date: Accuracy to Sustainable Home: License Number SA62-0023 (C) Copyright 2011. Design all rights reserved.		
Drawn: Matthew Lamb	Revised:	NTS
0998/011	Scale:	Date:
		06/2011



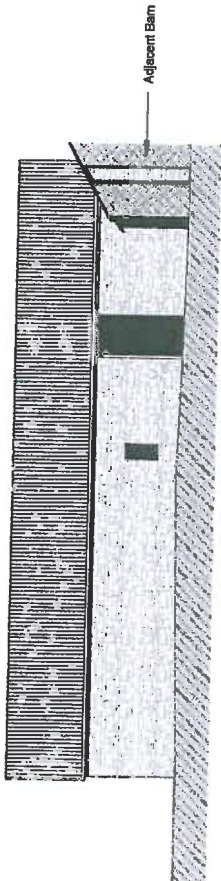
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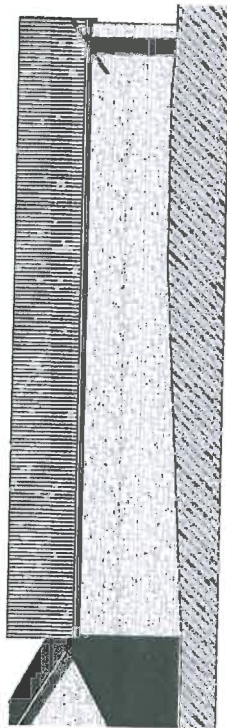
**Existing West Elevation**  
1 : 100



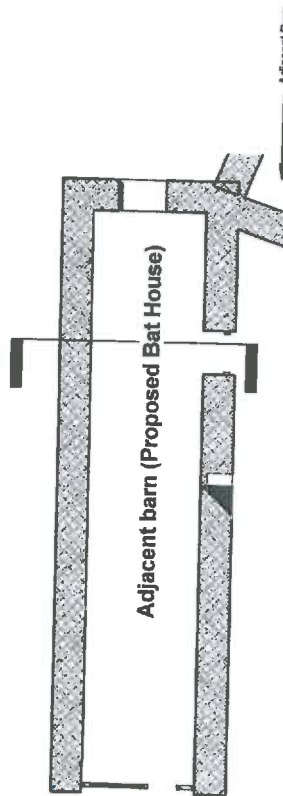
**Existing East Elevation**  
1 : 100



**Existing South Elevation**  
1 : 100



**Existing North Elevation**  
1 : 100



**Adjacent barn (Proposed Bat House)**

**Adjacent Barn**  
1 : 100

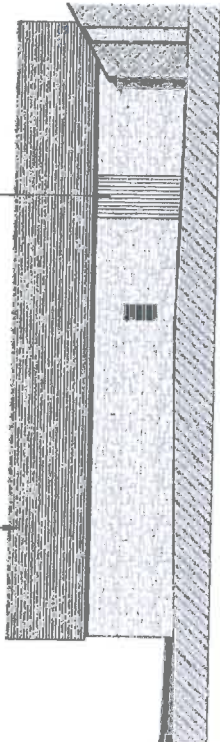
**Existing Finishing Schedule**  
Ridge - Zinc Capped  
Roof Covering - Corrugated  
Walls - Stone  
Doors - Timber

Rev.	Description	Date
	<b>Existing Adjacent Barn - (New Bat House)</b>	
Client: Rachel Holloway & Matthew Lamb		
Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX		
01348 841300 01811 001115 www.gmw.co.uk Code Reference: In-Sustainable Home Loans Number 68890-69223		
Drawing Number: <b>0998/012</b> Scale: 1:100 Date: 06/2011		

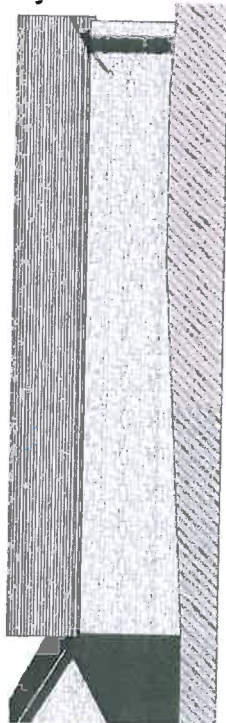
NP 12 0 23  
13 SEP 2012  
Hayston Developments & Planning Ltd



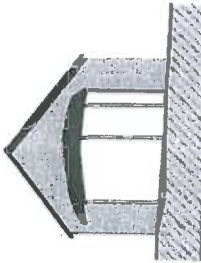
The roof of the roost to be clad with slates.  
The roost will be accessible for inspection via a robust lockable door which will be located in the south-facing elevation.



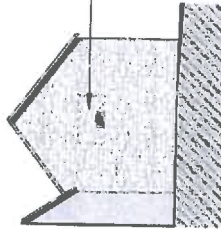
**Proposed South Elevation**  
1 : 100



**Proposed North Elevation**  
1 : 100



**Existing West Elevation**  
1 : 100

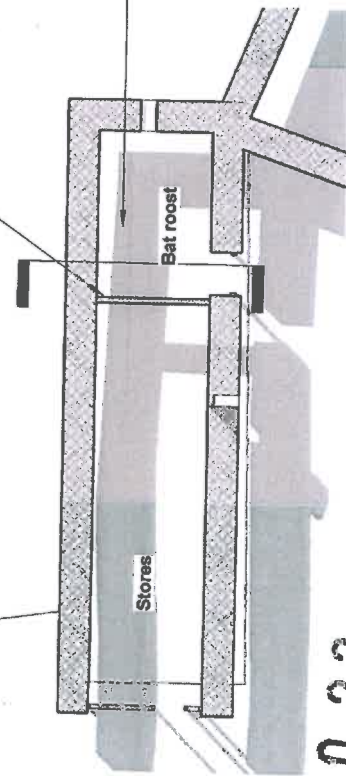


**Proposed East Elevation**  
1 : 100

The roof of the roost will be constructed traditionally with a ridge board but not with trusses. Beams and purlins will have notches cut out, so that there are crevices formed between the carpentry and the roofing felt; notches should measure approximately 20mm x 50mm. Roofing felt should be traditional bitumastic and hessian which allows bats to cling from almost any point. Internal partitioning of the apex would be made of plywood or excluded spaces to be created and allows for warm air to accumulate. Two internal partitions at 1m intervals using 50mm-thick insulation, supported through a rough surface to facilitate hanging bats, will be fitted to rafters to hang down 0.5m.

The bat entrance to the roost will measure 150mm tall x 300mm wide and will allow direct access into the roost. The entrance will be positioned mid-way between the ground and the apex to minimise the risk of warm air that will accumulate in the apex, but high enough to discourage predators. The entrance should include a lead hood and an upward sloping bat flap to prevent ingress of rain or precipitation. The entrance will be located within the eave, allowing bats to exit directly into adjacent woodland. In this location, the entrance will also be shaded by adjacent trees allowing bats to emerge earlier and forage for longer. The existing window in this gable will need to be sealed with concrete blocks or reduced in size accordingly.

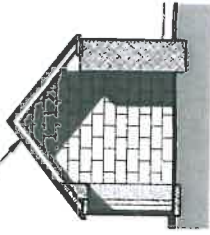
The new party wall constructed of concrete blockwork, to be rendered on the non-roost side. Crevices suitable for brown long eared bats and other species, such as Pipistrellus sp., can be made within the roost side of the party wall by inserting 50mm x 25mm batons between the concrete blocks and then removing them when the mortar has set.



**Proposed Bat House**  
1 : 100

The roost will occupy the eastern end of the long barn (refer to Figure 1, Appendix I of the bat report). It will take up approximately one third of the volume, measuring 3m in length.

External lighting should be kept to a minimum to ensure that bats are not disturbed or discouraged from using the site and there should be no external lighting in the area of the new roost entrance. The impacts on bats can be minimised by the use of low pressure sodium lamps. Light should be directed to where it is needed and light spillage should be minimised by the use of hoods, cones or shields. If lighting columns are to be used, these should be as short as possible to reduce the risk of light pollution. Greater detail and further advice can be found within the Bat and Lighting in the UK factsheet provided by the Bat Conservation Trust.



**Section Z - Z**  
1 : 100

NP 12 0 23

**Finishing Schedule**

- Ridge - Blue grey/purple interlocking butt ridge tiles
- Roof Covering - New slate roof to bat area
- Rainwater goods - Black Aluminium/cast iron - if applicable
- Walls - Stone walls retained
- Doors - Timber 4rg door

It is recommended that the roost be built prior to the works affecting the known bat roosts, so that if any bats are found during works they can be accommodated in the new roost.

Drawn	Discussed	Date
<b>Proposed Bat Mitigation</b>		
Client: Rachel Holloway & Matthew Lamb		
Project: Proposed Conversion of Mill to Live / Work Unit at New Mill, Tregwynt, Haverfordwest, Pembrokeshire, SA62 5UX		
01248 841200 01813 527115 www.gmwadeplo.co.uk		
Code Register for Sustainable Homes Licence Number 01000-0003		
Planning Number	0998/013	Date
As Shown		04/2011