

## Item 5 - Report on Planning Applications

### **Application Ref: NP/20/0576/FUL**

<b>Case Officer</b>	Andrew Richards		
<b>Applicant</b>	Mr S Joules		
<b>Agent</b>	Mr A Vaughan-Harries, Hayston Development & Planning		
<b>Proposal</b>	Proposed relocation of existing café to new building with associated external patio area		
<b>Site Location</b>	St Ishmaels Garden Centre, St Ishmaels, Haverfordwest, Pembrokeshire, SA62 3SX		
<b>Grid Ref</b>	SM82840756		
<b>Date Valid</b>	11-Jan-2021	<b>Target Date</b>	07-Mar-2021

The application is referred to the Development Management Committee for consideration at the discretion of the Director of Planning & Park Direction.

### **Consultee Response**

**St Ishmaels Community Council:** No response received  
**PCNPA Tree and Landscape Officer:** Conditional consent  
**PCNPA Planning Ecologist:** Conditional consent  
**PCC Transportation and Environment:** No objection  
**PCC Drainage Engineers:** SAB approval required  
**PCC Public Protection:** No adverse comments  
**Cadw:** No adverse comments  
**Dyfed Archaeological Trust:** No adverse comments

### **Public Response**

A site notice and neighbour notification letters were posted in accordance with requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.

One letter has been received and supports the proposal.

### **Policies considered**

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website -

<http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

LDP2 Policy 01 - National Park Purposes and Duty

LDP2 Policy 07 - Countryside

LDP2 Policy 08 - Special Qualities

LDP2 Policy 09 - Light Pollution

LDP2 Policy 10 - Sites and Species of European Importance

LDP2 Policy 11 - Nationally Protected Sites and Species

LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park

LDP2 Policy 29 - Sustainable Design

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LDP2 Policy 30 - Amenity  
LDP2 Policy 31 - Minimising Waste  
LDP2 Policy 32 - Surface Water Drainage  
LDP2 Policy 38 - Visitor Economy  
LDP2 Policy 60 - Impacts of Traffic  
PPW10  
SPG05 - Sustainable Design  
SPG06 - Landscape  
SPG12 - Parking  
SPG13 - Archaeology  
SPG23 - Enabling Sustainable Development in Welsh NPAs  
TAN 04 - Retailing and Town Centres  
TAN 05 - Nature Conservation and Planning  
TAN 06 - Planning for Sustainable Rural Communities  
TAN 12 - Design  
TAN 15 - Development and Flood Risk  
TAN 18 - Transport  
TAN 23 - Economic Development  
TAN 24 - The Historic Environment

### **Constraints**

Historic Landscape  
Ancient Monument - within 500m  
Recreation Character Areas  
Affordable Housing Submarkets  
Seascape Character Areas  
Landscape Character Area

### **Officer's Appraisal**

#### **Background and History**

The site is located a short distance to the west of St Ishmaels and forms part of the existing garden centre.

Relevant previous planning history has been identified as:

- NP/19/0538/FUL – Garden centre managers bungalow and associated external works – Not determined to date
- NP/19/0104/S73 – Variation/removal of conditions attached to NP/13/0434 – Approved 31.07.2019
- NP/19/0021/CLP - Lawful development certificate for a proposed use/development to confirm that work has started on site in relation to planning approval NP/13/0434 – Approved 23.04.2019

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- NP/18/0564/DOC – Discharge of conditions 4, 6, 7 and 17 of planning consent NP/13/0434 – Discharged 29.11.2018
- NP/13/0434 - Demolition of existing redundant glass house & associated buildings, replacement of existing garden centre buildings, plus development of 18 timber clad built lodges for holiday purposes in a landscaped setting – Approved 25.02.2014
- NP/12/0596 – EIA Screening Opinion for demolition of existing redundant glasshouses & associated buildings, replacement of existing garden centre buildings, plus development of 18 timber clad lodges for holiday purposes in a landscaped setting and provision of picnic and ecological improvement areas – Screening opinion issued 21.12.2012
- NP/12/0550 - Demolition of existing redundant glasshouses & associated buildings, replacement of existing garden centre buildings, plus siting of 18 timber clad lodges for holiday purposes in a landscaped setting and provision of picnic and ecological improvement areas – Refused 20.03.2013
- NP/10/349 – Managers house (renewal of consent NP/07/362) – Refused 30.09.2010
- NP/07/362 – Manager house (ROC) – Approved 30.08.2007
- NP/03/636 - Managers house & new private access (Outline) – Approved 11.08.2004
- NP/03/572 – Managers house – Withdrawn 21.11.2003
- NP/01/060 – Conservatory over front entrance – Approved 20.03.2001

### Current Proposal

Planning approval is sought for the relocation of an existing café use to new building with associated external patio area within the existing garden centre site. The existing café area will then be re-used as a staff room and additional garden centre retail display area.

### Key Issues

The application raises the following planning matters:-

- Policy, Principle of Development and Impact on National Park
- Impact on Scheduled Ancient Monuments
- Siting and Sustainable Design
- Amenity and Privacy
- Highway Safety and Access
- Landscaping
- Biodiversity
- Land Drainage and Flooding

#### *Policy, Principle of Development and Impact on National Park:*

The site is located with the countryside as defined by the Local Development Plan 2 (LDP2). The proposal is seeking to provide improved café facilities and to alter the layout of the garden centre for the benefit of the business and customers. Based on the information submitted with the application it appears that the existing café occupies approximately 193sqm of space within the garden centre. Whilst the

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applicant has indicated on the plans that the proposed cafe will measure 146.39sqm of space (internal and patio), with the overall site area measures approximately 585sqm. This is approximately 3 times the space occupied by the current café.

Whilst piecemeal alterations within the site will not achieve the original justification for the existing buildings of little aesthetic merit within the nursery to be replaced as required under previous planning consent NP/13/0434. It is accepted that the proposed alterations will improve the operation of the site. They will not impact on the wider area visually and therefore there will be no greater visual impact than currently exists.

It is important to ensure that the type of goods for sale from the café and garden centre remain appropriate, taking fully into account that this is a countryside location. It will also be important to ensure that once the new café area becomes operational the then former café is no longer used in order that the café use remains ancillary to the main use of the site as a garden centre and this will be secured through a suitable planning condition.

As such, the proposed scheme is considered to be acceptable in principle and will not have an adverse impact on this area of the National Park. The proposal is also considered to meet the policies set out in the Local Development Plan and subject to conditions to ensure that the primary function of the site remains as a garden centre as it is in a countryside location.

### *Impact on Scheduled Ancient Monuments:*

The application area is located some 38m southeast of scheduled monument PE113 Standing Stone 290m South of Mabesgate. The monument comprises the remains of a Bronze Age standing stone measuring some 3m in height, 2.3m in width and 2m in depth composed of hard red sandstone.

The surrounding topography limits views to and from the stone except to the northwest. Antiquarian records suggest that another standing stone was located some 300m to north, although this stone no longer exists. Consequently the significant views are considered to be northwest in an arc from west to north.

The proposed development consists of a single storey timber clad cabin that will be used as a café. It will be visible from the standing stone, although it is likely that only the roof will be seen due to the intervening hedge, but this is not in the significant view and it will be seen along with the existing polytunnel and other structures of St Ishmael's Garden Centre. As such whilst there may be a very slight visual change in the view from the standing stone this will not have any effect on the way that it is experienced, understood and appreciated. Consequently the proposed development will have no impact on the setting of scheduled monument PE113.

### *Siting and Sustainable Design:*

The proposed relocation of the existing café within the existing garden centre into a new proposed built building and located in the rear north east corner of the site is considered to be acceptable in this instance and can be supported. The retention of

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the existing café space to create additional retail display space and staff rest room to support the existing garden centre business and remains the main use of the overall site. The design, scale and form of the new café structure is considered to be appropriate for this type of development and can be supported in terms of sustainable design.

### *Amenity and Privacy:*

Policy 30 of the LDP2 seeks to avoid development that is inappropriate for where people live or visit, of an incompatible scale with its surroundings, leads to an increase in traffic or noise or odour which has a significant adverse impact.

Whilst, the new café location will be slightly closer to the neighbours boundary it will be further away from the neighbours dwelling when compared to the existing provision. It is noted that this neighbour has supported the current application.

In order to ensure that residential amenity is protected conditions shall be attached to any permission granted restricting opening hours and delivery times. Consequently, it is considered that the proposed changes are considered to be acceptable in terms of the impact on residential amenity, subject to these conditions.

In respect of the existing ancillary Cafe, in order to ensure that this does not become the primary use of the site a condition will be re-imposed to any permission granted restricting its use except in combination with the existing garden centre.

### *Highway Safety and Access:*

Pembrokeshire County Council Transportation and Environment section indicate that the new café will be created on land currently used for selling plants. There may be more capacity inside the proposed café, than with the existing, but overall this is not assessed as going to be significant enough to lead to congestion in the car park. Therefore, no objections are raised on highway grounds to the current proposal.

### *Landscaping:*

The existing site forms part of a display area for an existing garden but does benefit from existing landscaping to the north and eastern boundary in the form of a hedge and associated trees. The proposed development scheme has not indicated that any new landscaping will be provided and this is supported in this instance. A planning condition will be imposed to ensure that the existing trees and hedges are retained and protected during the construction works.

### *Biodiversity:*

PPW, TAN5, Policies 10 and 11 of LDP2 requires biodiversity and landscape considerations to be taken into account in determining individual applications. The presence of a species protected under UK or European legislation is a material consideration when dealing with applications that are likely to result in disturbance or harm to the species or its habitat.

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The ecologist has indicated that provided any additional external lighting is low level, downward facing, hooded and on a short PIR activated timer no adverse comments are raised on this application. As such a planning condition will be imposed to ensure that any external lighting will meet with these requirements.

### *Land Drainage and Flooding:*

Pembrokeshire County Council Drainage Engineers have indicated that the proposal will require SAB approval prior to the commencement of works as the development will be in excess of 100m<sup>2</sup> and an informative will be added to cover this aspect.

### **Conclusion**

Following consideration of the policies contained within the Local Development Plan 2 and National Planning Policy in the form of Planning Policy Wales - Edition 10 and having regard to all material considerations it is considered that the amended scheme offers an opportunity to relocate an existing café within the wider site whilst incorporating a sustainable design. The development will be in keeping with the aims of the LDP 2 in that the development and will conserve and enhance the existing character of the site and the special qualities of this area of the National Park. As such, and subject to a schedule of suitable conditions to control the development, the development is considered to be acceptable and complies with the requirements of policies 1, 7, 8, 9, 10, 11, 14, 29, 30, 31, 32, 38 and 60 of the Local Development Plan 2.

### **Recommendation**

Approve subject to conditions

1. The development shall begin not later than five years from the date of this decision.

**Reason:** Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development shall be carried out in accordance with the following approved plans and documents:

Drawing Reference: 01/D (Received 08.01.2021)

Drawing Reference: 02/D (Received 08.01.2021)

Drawing Reference: 03/A (Received 23.11.2020)

Drawing Reference: 04/A (Received 23.11.2020)

Drawing Reference: 05/B (Received 08.01.2021)

Drawing Reference: 01/D (Received 08.01.2021)

Drawing Reference: 01/D (Received 08.01.2021)

Planning Statement (Received 08.01.2021)

**Reason:** In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

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3. All retained trees, hedgebanks and hedge boundary features and/or any trees whose canopies overhang the site shall be protected by strong fencing in accordance with 'BS5837: 2012 Trees in relation to design, demolition and construction – Recommendations' for the duration of the development. The fencing shall be erected before any equipment, machinery or materials are brought onto the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed within any fenced area, and the ground levels within those areas shall not be altered, nor shall any excavation be made.

**Reason:** In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park), 30 (Amenity), Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009) and Technical Advice Note (TAN) 10: Tree Preservation Orders (1997).
4. All external lighting to be low level, downward facing, hooded and on a short PIR activated timer and shall be implemented and retained as approved.

**Reason:** In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 10 (Sites and Species of European Importance), 11 (Nationally Protected Sites and Species), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).
5. No development shall commence until details of existing ground levels and proposed finished ground and floor levels have been submitted to and approved in writing with the local planning authority. The development shall be carried out in accordance with the approved details.

**Reason:** In order to be clear on the levels of the development approved to provide for a proper standard of development and appearance in the interests of conserving the amenities and special qualities of the area. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) 29 (Sustainable Design) and 30 (Amenity).
6. The garden centre is to be used for the purposes of a retail sales associated with gardening products with ancillary cafe only and for no other purpose (including any other purpose in Class A1 or A3 of the schedule in the Town and Country Planning (Use Classes) Order 1987) (or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification).

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**Reason:** In order to protect the amenities of local residential properties.  
**Policy:** Local Development Plan 2 - Policies 1 (National Park Purposes and Duty) and 30 (Amenity).

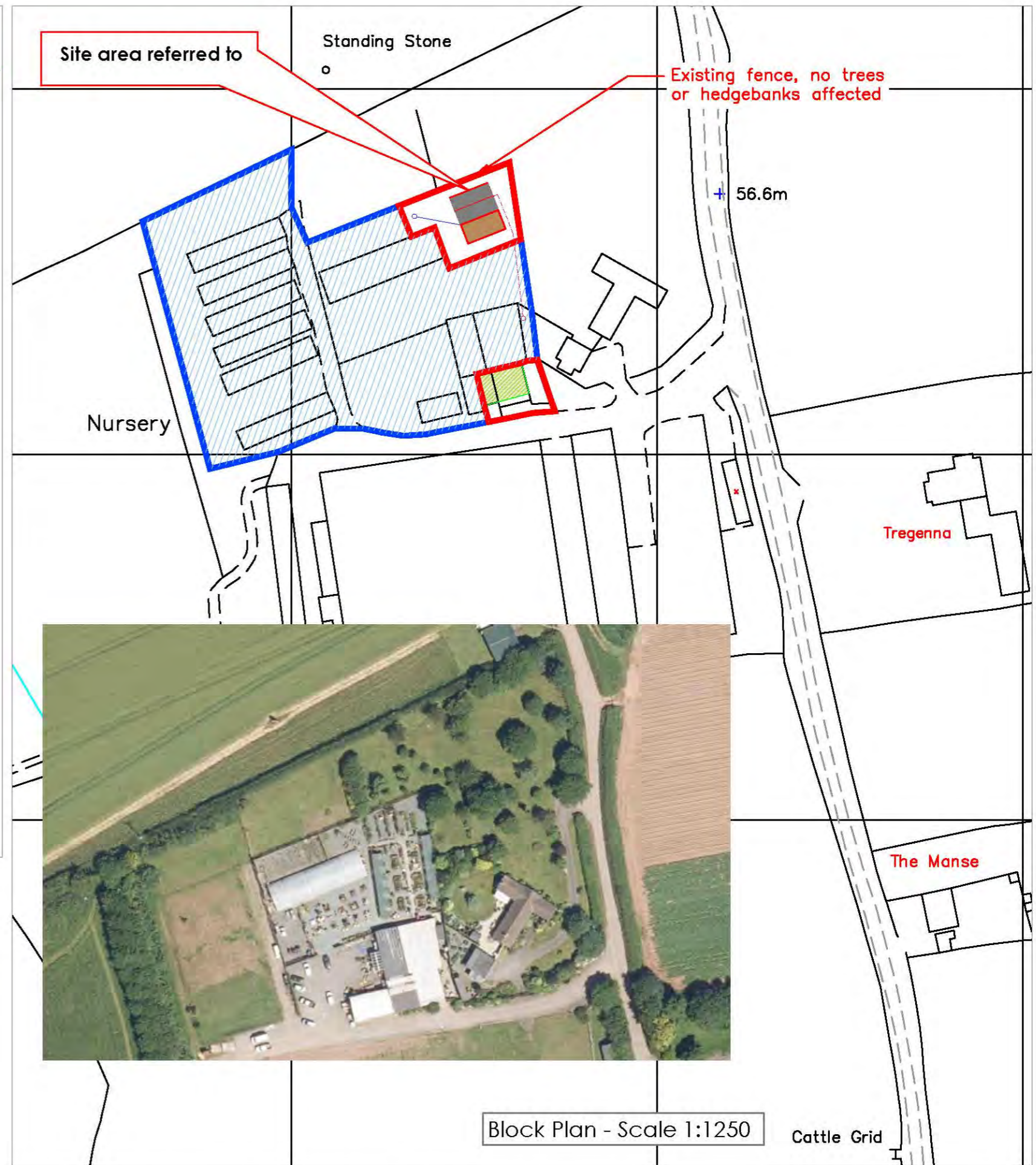
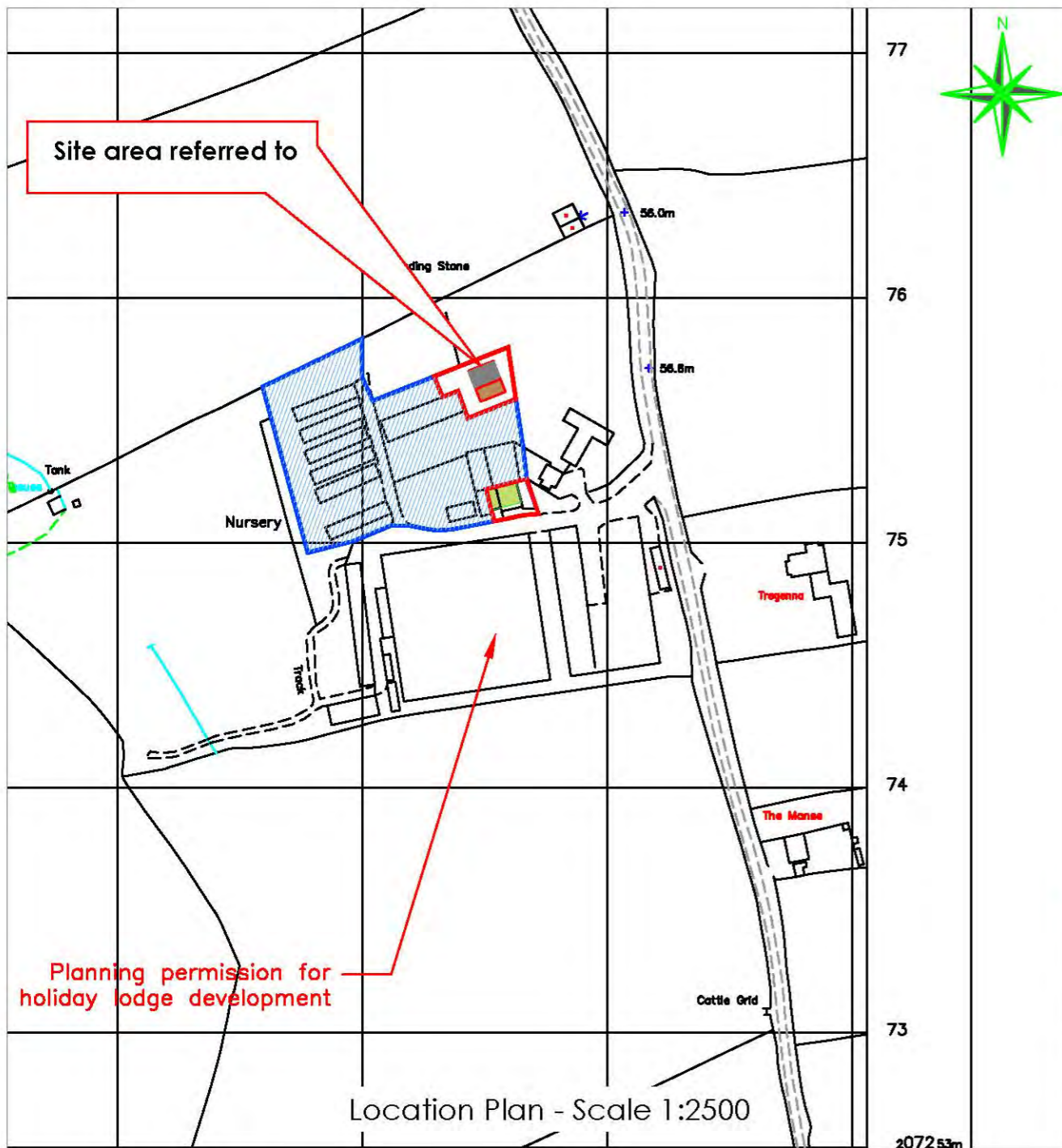
7. Customers are not permitted on the premises outside the hours of 08:30 to 18:00 Mondays to Sundays including Bank Holidays.

**Reason:** To avoid potential unreasonable disturbance to nearby residential properties. **Policy:** Local Development Plan 2 - Policies 1 (National Park Purposes and Duty) and 30 (Amenity).

8. The existing café area as indicated on drawing reference: 02D (Received 08.01.2021) must no longer be used for that use upon first beneficial use of the relocated café hereby approved.

**Reason:** To ensure that the café use remains ancillary to the main use of the site as a garden centre. **Policy:** Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).





- Gross internal area - 85.89 msq  
Gross area of patio - 60.50 msq  
Total Area - 146.39 msq
- Land in client ownership highlighted thus



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The Planning Studio, Hayston Bridge  
Johnston, Haverfordwest  
Pembrokeshire SA62 3HJ  
01437 891 817  
07515 851 704  
andrew@haystonplanning.co.uk  
www.planningpembrokeshire.co.uk

Proposed Replacement Cafe  
St Ishmaels Garden Centre  
St Ishmaels, Pembrokeshire

Designed by

Checked by

File name  
AVH\_678

Date  
30.12.2020

Scale  
A3 - As Shown

Client  
Mr Simon Joules

Drawing Title

Location and Block Plans

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Dwg No.  
**01d**





Proposed roof drainage to soakaway

Existing fence, no trees or hedgebanks affected

Proposed location of replacement cafe

Proposed outside patio area

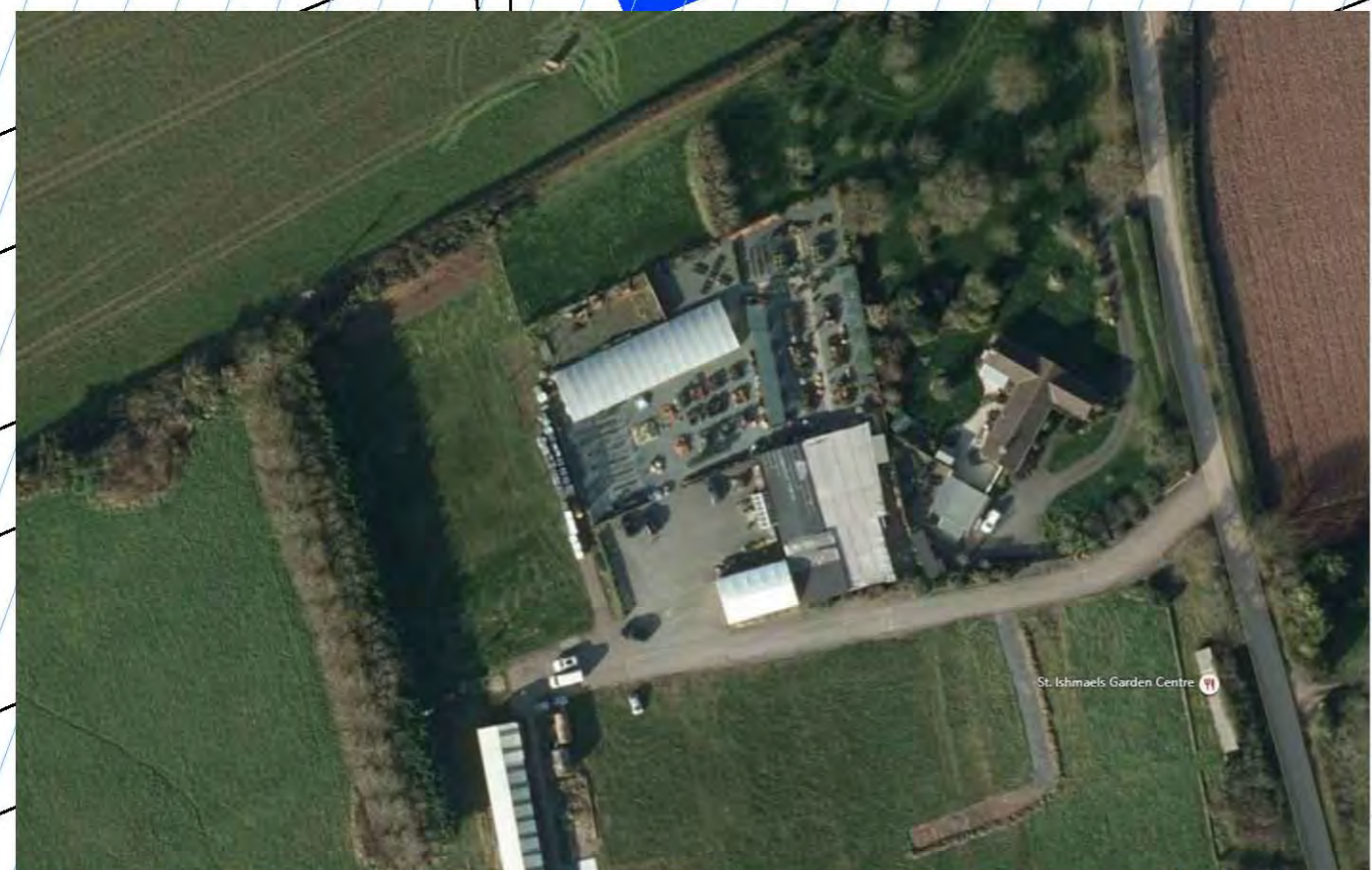
Foul drains to connect to existing septic tank

Existing cafe/seating area to be re-used as display area and staff restroom area

**NOTE**

All foul drainage to existing system

All external elevations / features of existing building to remain, no external changes



The Planning Studio, Hayston Bridge  
Johnston, Haverfordwest  
Pembrokeshire SA62 3HJ  
01437 891 817  
07515 851 704  
andrew@haystonplanning.co.uk  
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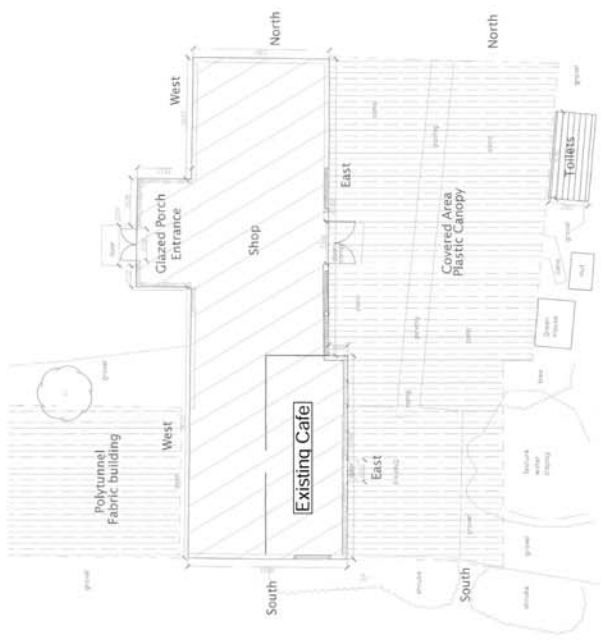
Proposed Replacement Cafe  
St Ishmaels Garden Centre  
St Ishmaels, Pembrokeshire

Designed by    Checked by    File name AVH\_678    Date 30.12.2020    Scale A3 - 1:250    Client Mr Simon Joules

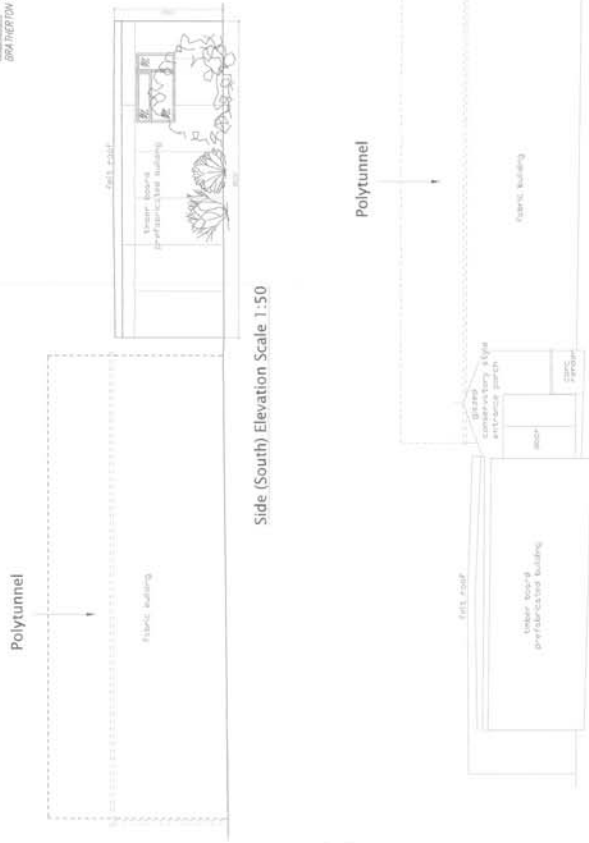
Drawing Title  
Site Plan



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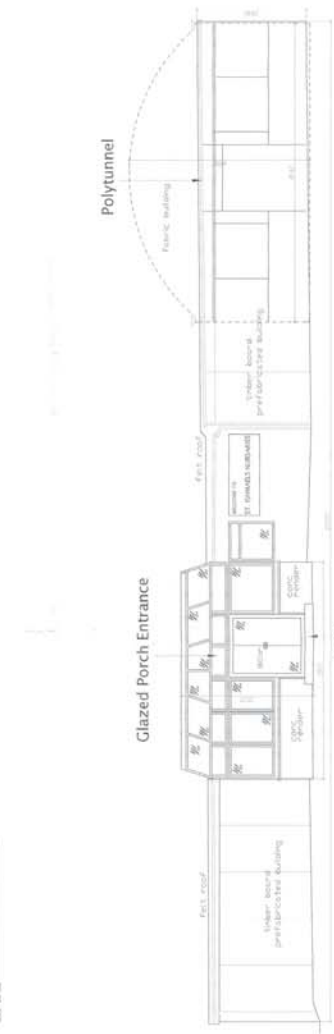


Plan Scale 1:100



Side (South) Elevation Scale 1:50

Side (North) Elevation Scale 1:50



Front (West) Elevation Scale 1:50

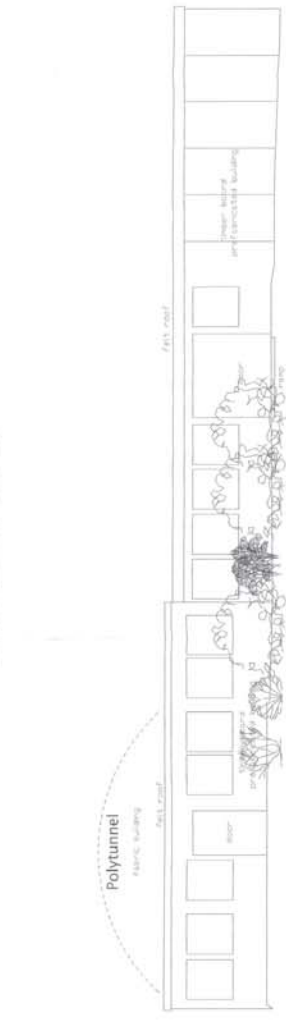


EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION



Rear (East) Elevation Scale 1:50



The Pumping Station, Hayston Lodge  
 Johnson, Maresfield West  
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 01315 661324  
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PARK DESIGN CONSULTANTS  
 Navigation Garage - Parkgate Road - Halesgates  
 Chester - CH1 6DF  
 T: 01244 833 800 - F: 01244 833 801  
 E: parkdesign@brathertonparkdesign.co.uk - www.brathertonparkdesign.co.uk

Replacement Cafe  
 St John's Garden Centre  
 Farnborough

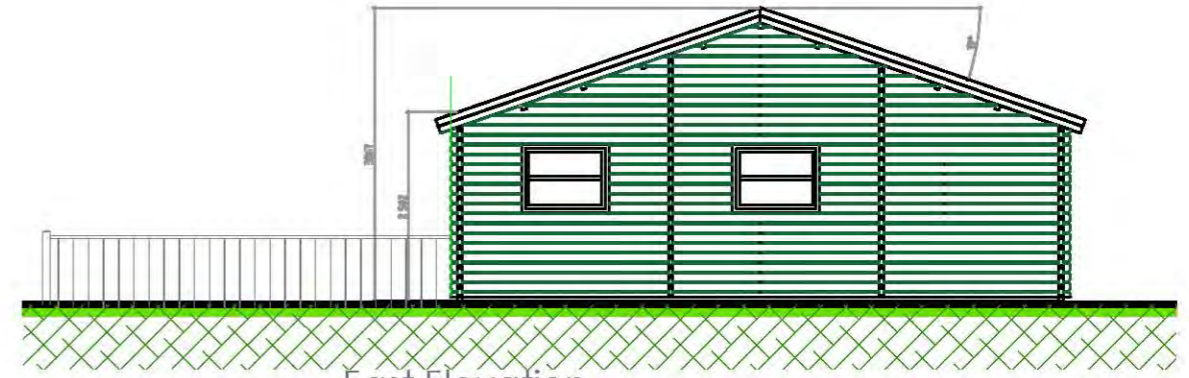
GARDEN CENTRE  
 AS EXISTING PLAN AND  
 ELEVATIONS

DATE: 12.10.2020 SCALE: 1:50  
 DRAWN BY: J.CHESTER REV: 4 JOB: AN1421.01A

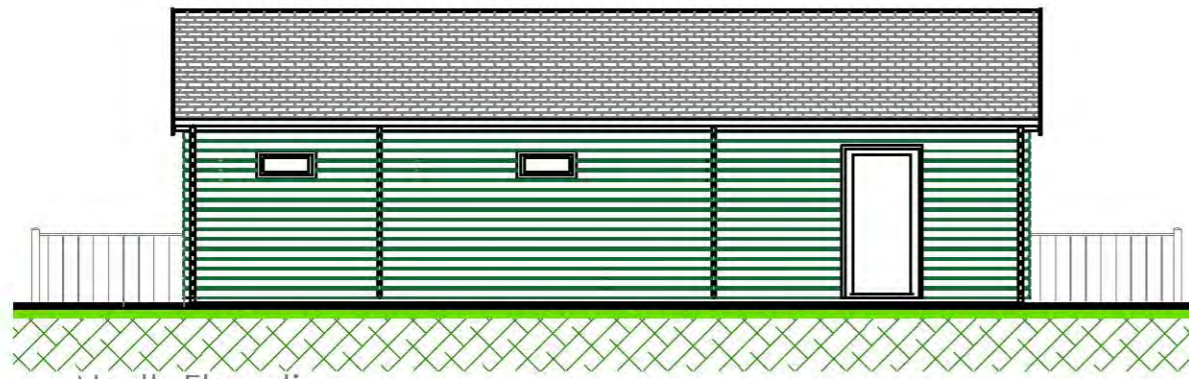




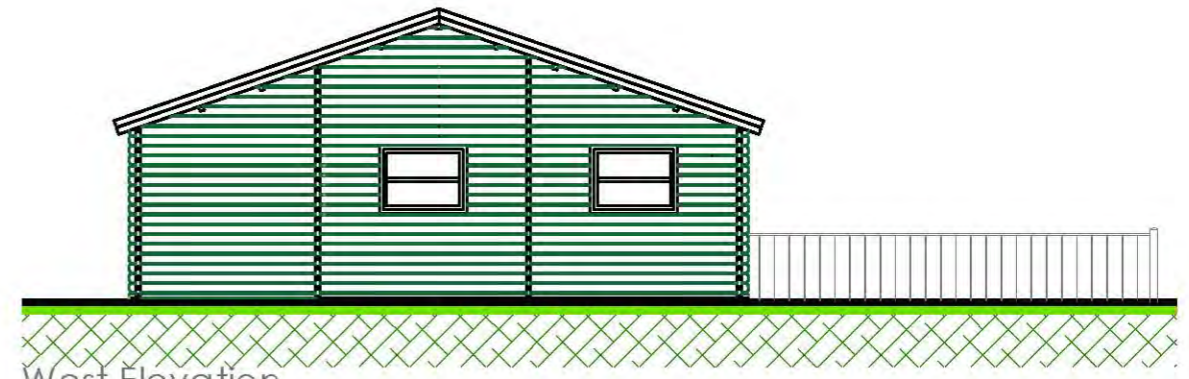
South Elevation



East Elevation



North Elevation



West Elevation

Schedule of Finishes

1. Walls - Timber log effect to external walls - green in colour
2. Windows / Doors - Timber or uPVC - grey in colour
3. Roof - Blue black natural or composite slate roof or slate effect
4. Rainwater goods - Black uPVC gutters and downpipes
5. Timber balustrade - grey in colour

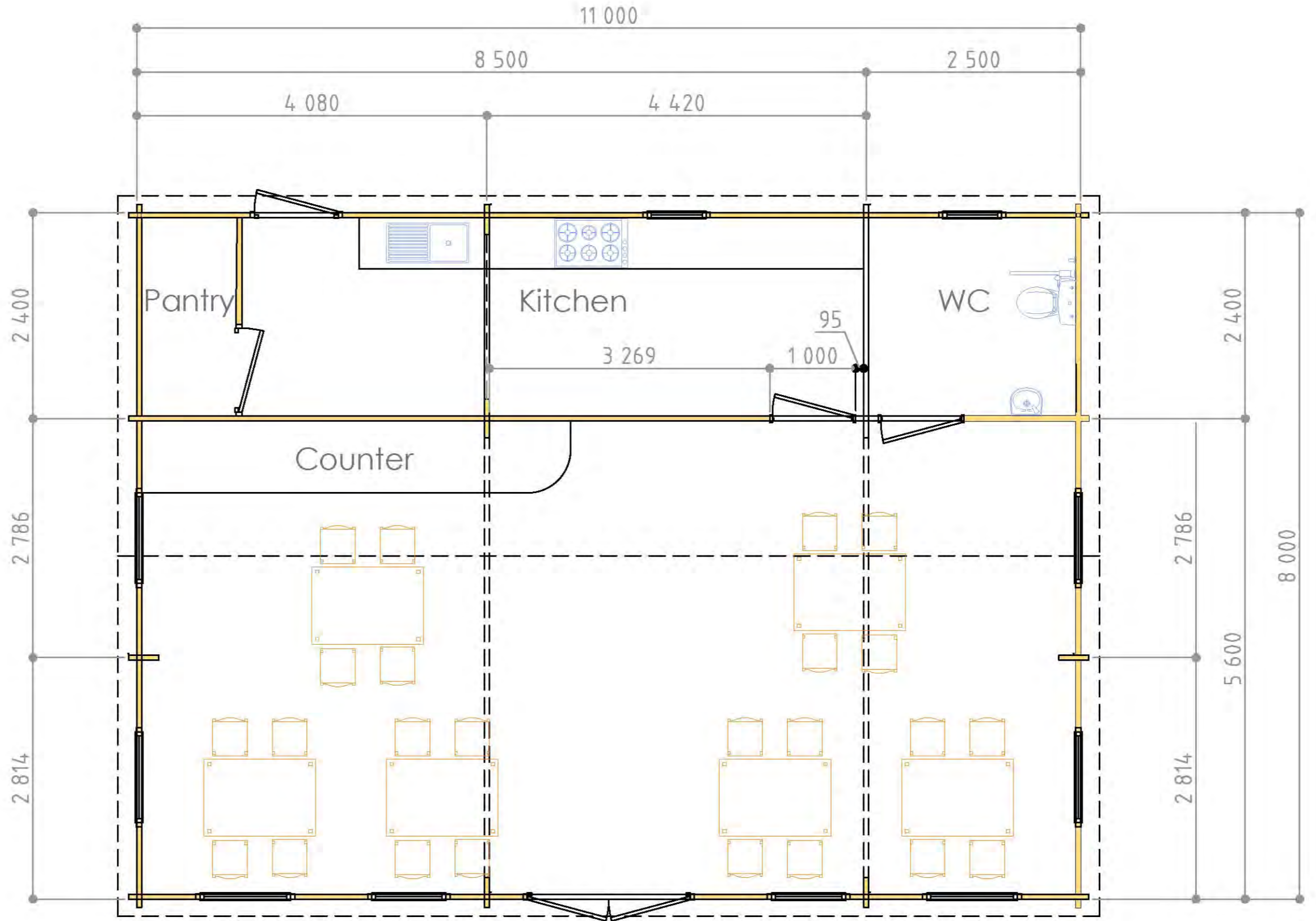
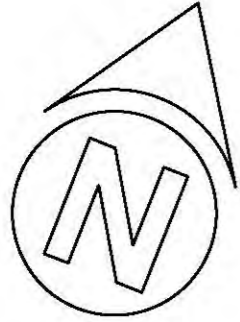


The Planning Studio, Hayston Bridge  
 Johnston, Haverfordwest  
 Pembrokeshire SA62 3HJ  
 01437 891 817  
 07515 851 704  
 andrew@haystonplanning.co.uk  
 www.planningpembrokeshire.co.uk

Proposed Replacement Cafe  
 St Ishmaels Garden Centre  
 St Ishmaels, Pembrokeshire

Designed by	Checked by	File name AVH_678	Date 28.12.2020	Scale A3 - 1:100	Client Mr Simon Joules
Drawing Title Replacement Cafe Elevations					Dwg No. Page 112 of 141 <b>05b</b>





**K** KEOPS



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The Planning Studio, Hayston Bridge  
Johnston, Haverfordwest  
Pembrokeshire SA62 3HJ  
01437 891 817  
07515 851 704  
andrew@haystonplanning.co.uk  
www.planningpembrokeshire.co.uk

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St Ishmaels Garden Centre  
St Ishmaels, Pembrokeshire

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Date  
12.10.2020

Scale  
A3 - 1:50

Client  
Mr Simon Joules

Drawing Title

Replacement Cafe Floor Plan

Dwg No.

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